

**PLEASANT PRAIRIE PLAN COMMISSION MEETING
VILLAGE HALL AUDITORIUM
9915 39th AVENUE
PLEASANT PRAIRIE, WISCONSIN
6:00 P.M.
AUGUST 25, 2014**

AGENDA

1. Call to Order.
2. Roll Call.
3. Consider the minutes of the August 11, 2014 Plan Commission meeting.
4. Correspondence.
5. Citizen Comments.
6. New Business.
 - A. Consider the request of Daniel Pratt, of Arco Murray, agent for the owner of Good Foods Group LLC, for approval of **Site and Operational Plan** for the construction of a 39,166 square foot addition to the facility located at 10100 88th Avenue in LakeView Corporate Park.
7. Adjourn.

It is possible that members and possibly a quorum of members of other governmental bodies of the municipality may be in attendance in the above stated meeting to gather information; no action will be taken by any other governmental body except the governing body noticed above.

The Village Hall is handicapped accessible. If you have other special needs, please contact the Village Clerk, 9915 39th Avenue, Pleasant Prairie, WI (262) 694-1400.

**PLEASANT PRAIRIE PLAN COMMISSION MEETING
VILLAGE HALL AUDITORIUM
9915 39TH AVENUE
PLEASANT PRAIRIE, WISCONSIN
6:00 P.M.
August 11, 2014**

A regular meeting for the Pleasant Prairie Plan Commission convened at 6:00 p.m. on July 28, 2014. Those in attendance were Thomas Terwall; Michael Serpe; Donald Hackbarth; Wayne Koessl; Jim Bandura; John Braig; Judy Juliana; and Bill Stoebig (Alternate #1). Also in attendance were Michael Pollocoff, Village Administrator; Tom Shircel, Assistant Village Administrator; Jean Werbie-Harris, Community Development Director; and Peggy Herrick, Assistant Zoning Administrator.

- 1. CALL TO ORDER.**
- 2. ROLL CALL.**
- 3. CONSIDER THE MINUTES OF THE JULY 28, 2014 PLAN COMMISSION MEETING.**

Judy Juliana:

Move to approve.

Don Hackbarth:

Second.

Tom Terwall:

IT'S BEEN MOVED BY JUDY JULIANA AND SECONDED BY DON HACKBARTH TO APPROVE THE MINUTES OF THE JULY 28, 2014 MEETING AS PRESENTED IN WRITTEN FORM. ALL IN FAVOR SIGNIFY BY SAYING AYE.

Voices:

Aye.

Tom Terwall:

Opposed? So ordered.

- 4. CORRESPONDENCE.**
- 5. CITIZEN COMMENTS.**

Tom Terwall:

If you're here for an item that appears on the agenda as a matter for public hearing we would ask that you hold your comments until the public hearing is held so we can incorporate your comments as a part of the official record. However, if you wish to raise an issue that's not on the agenda now would be your opportunity to do so. We would ask that you step to the microphone and begin by giving us your name and address. Is there anybody wishing to speak under citizens' comments?

6. NEW BUSINESS

A. PUBLIC HEARING AND CONSIDERATION OF A CONDITIONAL USE PERMIT INCLUDING SITE AND OPERATIONAL PLANS for the request of Rachel Quinn on behalf of Caterpillar College LLC for the proposed Caterpillar College Preschool to operate from the existing building located at 8411 Old Green Bay Road.

Jean Werbie-Harris:

Mr. Chairman and members of the Plan Commission and the audience, Item A is a public hearing and consideration of a conditional use permit including site and operational plans for the request of Rachel Quinn on behalf of Caterpillar College LLC for the proposed Caterpillar College Preschool to operate from the existing building located at 8411 Old Green Bay Road.

As a part of the hearing record, the Village staff has compiled a listing of findings, exhibits and conclusions regarding the petitioner's request as presented as part of this hearing.

Findings of Fact

1. The petitioner is requesting approval for Caterpillar College Preschool to occupy the building located at 8411 Old Green Bay Road. It's further identified as Tax Parcel Number 91-4-122-103-0260. The Lamb of God Church had previously occupied the building since the year 2000, and prior to that the facility was constructed and used as the Pleasant Prairie Child Care. The petitioner intends to purchase the property from the Lamb of God Lutheran Church. The Conditional Use Permit and Site and Operation Plan Applications and the associated attachments are all provided in the packets as part of Exhibit 1.
2. The current zoning of the property is I-1, Institutional District. Child care facilities are allowed in the I-1 District with the approval of a Conditional Use Permit. In addition, there may be some wetlands and 100-year floodplain in the far rear portion of the property, so if there's any work or expansion of the building that's proposed on the rear area east of the fenced area a detailed wetland staking and a survey showing the location of the 100-year floodplain will be required.
3. Pursuant to the application, Caterpillar College LLC operates the Caterpillar College Preschool that's currently located at 2224 30th Avenue in the City of Kenosha. The petitioner is planning to relocate the school in time for the 2014-2015 school year

beginning this September. The building, again, was currently being used as a church but previously it served as a childcare facility.

The Caterpillar College is known for its fun and engaging introduction to learning and individualized emphasis on academics. The school just celebrated its tenth year of operation in Kenosha, and the petitioner has been teaching early childhood education for over two decades.

The Caterpillar College Preschool is an academically focused preschool program designed to provide students with the skills and self-confidence needed to adapt to the next step in their educational development. The program is for children who are at least three years of age. In addition, the Caterpillar College offers mommy and me classes for two year olds and their parents. During the summer, the Caterpillar College offers day camp for children ages three to eleven years old. Age appropriate academics are included each morning as part of the program.

Parents have the option to sign up for at least two days of preschool, morning and/or afternoon sessions, which can add some variability to daily enrollment. The number of total students attending the school has typically been above 70. During the summer typically over 50 campers participate in the program.

During the school year which is September through May the College offers morning and afternoon preschool classes for three and four year olds on a schedule similar to the Kenosha Unified School District.

The Caterpillar College offers additional part-time programs and activities outside of regular school days including but not limited to those mommy and me classes, summer camp, parents' night out, birthday parties and other types of group activities.

4. The building is 7,660 square feet, and it includes four to six classrooms depending on the configuration, a large multipurpose room, boys and girls bathrooms, wheelchair accessible bathroom, office, warming kitchen and other customary storage, mechanical and janitorial rooms are all included. In addition, there is a large fenced in area behind the building for outdoor play.
5. The Caterpillar College offers wrap-around care with hours and staffing based upon demand. During the school year the facility will not open prior to 6:00 a.m. or close later than 6:00 p.m.
6. Summer sessions are held from the first or second week of June through mid to late August, depending on demand. Summer hours are from 7:30 a.m. to 5:30 p.m.
7. The College is working to open for classes at the new location on September 2, 2014. They employ a part-time staff of seven which is expected to grow by two or three over the short term. It is anticipated that the maximum number of staff on site at any one time is seven or more, depending on enrollment.

8. Pursuant to the application, the number of persons gathered for normal school operations is estimated at 100. This number will fluctuate depending on enrollment; however, the total will not exceed state mandated guidelines for the space. The multipurpose room will be used for large gatherings including monthly programs and holiday events. Family oriented special events, again, these are occasional holiday parties could attract up to 200 including the children.
9. Pursuant to the application there are 52 parking space on site including four handicapped accessible parking space.
10. Pursuant to the Village Zoning Ordinance two spaces, plus one space for every employee on the maximum shift and a paved, unobstructed pickup space with adequate stacking area shall be provided in addition to standard driveway and parking requirements, or one space for every six children; a safe pedestrian walkway system through the parking area to the building, with a safety zone a minimum of 15 feet in width between parking spaces and the front of the building which have all been provided in the past in order to handle the parking as well as the drop off requirements.
11. The Village staff believes that the off-street parking and vehicular circulation in the parking lot is adequate for this use.
12. The average maximum potential number of automobile trips to and from the site is anticipated to be an average of 70 trips with a maximum 100 trips per day
13. Notices were sent to the abutting property owners via regular mail on July 24, 2014, and they were published in the *Kenosha News* on July 28 and August 4, 2014.
14. The petitioner was emailed a copy of this memo on August 8, 2014.
15. According to the Village Zoning Ordinance, the Plan Commission shall not approve a Conditional Use Permit unless they find after viewing the findings of fact, the application and related materials and information presented at the public hearing this evening that the project as planned will not violate the intent and purpose of all Village Ordinance and meets the minimum standards for granting of a Conditional Use Permit. In addition, they shall not approve the Site and Operational Plan unless they find that the decision along with the application and any conditions of approval will comply with the applicable Village ordinance requirements and all other federal, state or local requirements at pertains to this project.

With that, I'd like to continue the public hearing and introduce a representative from Caterpillar College to present any other additional information or respond to any questions that the Plan Commission may have.

Tom Terwall:

Who is going to represent? Yes, sir, professor.

Fred Schlater:

My name is Fred Schlater, and I'm the broker for Rachel Quinn and her husband, Brian.

Tom Terwall:

Give us your address, Fred.

Fred Schlater:

My address is 6809 Green Bay Road.

Tom Terwall:

Anything you wanted to add?

Fred Schlater:

No, I think that's pretty complete.

Tom Terwall:

You're available to answer questions?

Fred Schlater:

Yes.

Tom Terwall:

Is there anybody else wishing to speak? Yes, sir?

Joe Seitz:

My name is Joe Seitz. I live at 6822 85th Street which is directly south of the property in question. My neighbor approached me and let me know this site was previously a daycare center. And he had mentioned that between my property line and the fence line on the south side of the property in question originally there was planned to be a mound built which is actually there. There was trees that were supposed to be planted on there, however, there's only one tree that has survived. This is to provide privacy from my property to the property in question.

As it lies now this mound is actually within their fence line. If you stand upon the mound I have a privacy fence that's around my property and you can see through my windows, half my property. I don't have any objections to this being a daycare facility, but I would like to see this mound lowered or removed or foliage put upon it so I can retain my privacy which was promised to me buying this property a year ago. That's pretty much it.

Tom Terwall:

Thank you. Anybody else wishing to speak? Yes, sir?

Rick DuCato:

My name is Rick DuCato, and I live at 6810 85th Street. I'm just worried about the traffic. You said there was going to be about 70 to 100 cars entering and leaving Old Green Bay Road. It's a death trap as it is now for me to get my mail. I have cars going down the bike lane. I just think this is a recipe for disaster when it comes to traffic. I don't know how these people are going to get in and out of Old Green Bay onto 85th Street.

Tom Terwall:

Give me your address again, sir.

Rick DuCato:

6810 85th Street. There is no police traffic there now. It's a rare occasion when you see a police officer having someone pulled over. 85th Street is a 35 mile an hour speed limit, and from the light to my house is maybe one block. And there's cars doing 60 and 70 miles an hour in that stint heading eastbound. It's going to be suicide for these people coming in and out of that Old Green Bay Road.

Tom Terwall:

Thank you. Anybody else? Is there anybody else? I'm going to open it up to comments. Yes, Mike?

Michael Serpe:

Jean, did we address the security of this building as far as entering and leaving for the kids?

Jean Werbie-Harris:

Is there going to be an onsite security system?

Michael Serpe:

Yes, locked doors.

Jean Werbie-Harris:

Do you want to come up and address that, Fred?

Fred Schlater:

The doors will be locked during the day, and there's a security system of cameras that will be installed before school opens.

Tom Terwall:

There is now or there will be?

Jean Werbie-Harris:

There will be.

Fred Schlater:

There were some prior to that and she's just going to update them.

Tom Terwall:

Okay, thank you. Anybody else? Don?

Don Hackbarth:

That site is kind of obscure from Highway 31. How do you plan on advertising?

Fred Schlater:

Over the years she's done very little advertising. It's all word of mouth. They have pediatricians that refer people.

Jean Werbie-Harris:

Fred, can you bring the microphone up? We can't hear you.

Fred Schlater:

Over the years she's done very little advertising. It's pretty much all word of mouth. She has some pediatricians that refer people there. So she doesn't anticipate any big advertising.

Tom Terwall:

Does she anticipate a large sign do you know?

Fred Schlater:

She's going to just cover the one that's there.

Tom Terwall:

Okay, thank you. Wayne?

Wayne Koessl:

Through the Chair to the staff, this is a polling place, and we get a lot of traffic during the election time. Has that been a problem there? I don't think it has.

Mike Pollocoff:

No, it hasn't. Just to follow up on that, the police department does patrol 85th Street. It's one of the ways for the eastside squads to get back to the station and leave the station. The speed limit is 35. It is a busy area, but I'm not aware of traffic being unable to take a right hand turn on Old Green Bay Road south coming out to 85th Street. And I don't believe the wait time for a left hand turn would be any different than any other street on 85th Street. But I'll remind the Chief that as school starts if the Commission approves the project to do some increased patrol in that area.

Wayne Koessl:

I agree with you, Mike, because that's my polling place and I've never had problems going in or out of there.

Don Hackbarth:

Does that have a two entrance driveway?

Jean Werbie-Harris:

Yes, it does. There's an entrance right here on the south side and one on the north side. And there's actually an existing monument sign right here which you can see from Green Bay Road. They would not be able to put another sign down here, an off premise advertising sign. But, again, there is a sign that's located right there that they're looking to replace.

Don Hackbarth:

It might be helpful them the flow one driveway is in and other is out.

Jean Werbie-Harris:

I think that that's the typical flow is that you come in and then you're right here, you drop off or you park and then you come out. I don't know that it's signed that way. I'm not sure what the intent is. Maybe, Fred, you could respond to that, I can't recall.

Fred Schlater:

That's the way it's laid out right now, there's an in and an out. So they are arrowed. Probably needs to be repainted, but that's the way it is now.

Tom Terwall:

Thanks, Fred. John, you had a comment?

John Braig:

I frequently use 85th Street to go out to Highway 31, and I've never been aware of any extreme traffic. And I have observed the police department somewhat regularly driving on 85th Street. I think this is a good location for this facility.

Tom Terwall:

Sir, you want to comment or question? Give us your name and address again for the record.

Joe Seitz:

My name is Joe Seitz. My address is 6822, the property directly south of the property in question. I just wanted to add that while there is an in and out for the parking lot for this facility that is a dead end road, and constantly traffic is backed up beyond that frontage road which I call it, Old Green Bay Road, all the way past my property and as far back as my neighbor Rick's here. So while they're at times of polling or whatnot it may not seem congested, it does constantly get backed up on a daily basis around rush hour just to let you know. Thank you.

Tom Terwall:

Thank you. Jean, you had a comment?

Jean Werbie-Harris:

If I could just ask a question about the operations. Typically daycares and preschools there are drop off times that vary from 6 in the morning until 8 or 9 of the morning, and there's morning and afternoon. So it's not like all 70 cars come at the same time. It's usually spaced out especially in picking up children as well. And I don't recall there ever being issues when that was the Pleasant Prairie Childcare Center at that location. I know we've increased traffic since that time, but typically when you're dropping off at staggered times throughout the day it's not typically a problem where you see 40 cars there trying to get in and out at the exact same time.

Tom Terwall:

Jean, I have a question regarding your comment about the lack of foliage on the top of that berm. Is that true there is only one tree left?

Jean Werbie-Harris:

You know I went over there, and I really didn't look to see that there was just one tree left. But I certainly will go over there and work with them to see whether or not we should be fencing the bottom are or planting on top. The key is we don't want the kids running up and down that berm. That's a safety concern and, again, we don't want to have that for the neighbor to the south. So we certainly can look at that to see what would be the best solution, to remove it, to plant it, to fence it at the bottom. But the intent when we put in the berm was more of a noise deadening situation, that that was the concern back in the early '90s was we wanted to make sure that the berm was there to deaden the noise and to provide a buffer. So we can certainly look at that to see what's the solution to that. There's also some other comments I have with respect to landscaping on the site that needs to be addressed as part of the conditions of approval.

Tom Terwall:

Do you want to do that now, Jean?

Mike Pollocoff:

Somebody wants to speak.

Tom Terwall:

Yes, sir?

Gerald Martyniak:

Hi, my name is Gerald Martyniak. I live at 6716 85th Street, and I bike down that street constantly. And like the other fellow says if you try to come off of that frontage road and make a left hand turn you've got to get out almost to the middle of the street. So if they're driving buses through there with kids and everything else he's going to be half way out on 85th Street. Now, the people lately they even ride their cars -- I had one pass me the other day when I was on my tractor, come in the bike lane and pass. So it's a very dangerous place from about a mile from I'll say or two from Green Bay Road east going west. They have a lot of problems with these people riding in the bike lane doubling up right there. If one of them cars or something comes out in that late they're going to be in a world of hurt. I live two doors down from each one of those fellows. So there is a bunch of traffic there.

Tom Terwall:

John, you had a comment?

John Braig:

In support of Gerry it's not unusual to have vehicles pass on the left, eastbound and westbound, and it's not a two lane roadway. It's an area for parking, a bicycle lane and then one through lane. It might be worthwhile to suggest to the police department that they patrol it a little bit more carefully.

Gerald Martyniak:

So if they're going to do something with the school, I'm all for the school, it's great for kids, they need an education. But the thing is that corner where that young fellow lives there, if you're going left, east, you try to get off of that street at four o'clock, three o'clock, when all these people are going to work and coming home from work. Thank you.

Tom Terwall:

Thank you. Is there anybody else wishing to speak? Anybody else? Yes, sir?

Rick DuCato:

Rick DuCato, 85th Street again, 6810. In relationship to the berm I remember when I first moved into the area Maryann and R.J. Smith owned the house. And they always said that that berm should have been in between the two fences and it got put inside the daycare property instead of there's two fences on the lot line. They always complained that it should have been in between the two fences with the trees planted on top for the privacy. And it's a natural play area for those children to go onto. So Joe he works real bad hours. I would hate to see that berm stay because of his hours with all the kids that are going to be on that berm.

Jean Werbie-Harris:

I think what we need to do is we need to either prohibit those by installing a fence or relocating the fence or planting. The kids can't be climbing up that berm. I mean that's a problem.

Rick DuCato:

Yeah, I think it needs to be moved and then put in between the two fences where it originally was supposed to go.

Tom Terwall:

Or just put a fence at the bottom of the berm so the kids can't get at it.

Jean Werbie-Harris:

Relocate the fence back to the bottom and then plant the trees on the top.

Rick DuCato:

That's like putting something on top of the counter and asking the kids not to touch it. Climb that fence to get on that berm.

Mike Pollocoff:

Putting a berm between two fences is you can't maintain it. And pretty soon that becomes a problem. The real issue is having a fence of substance that would keep the kids on the preschool's property and not putting berms or locating that up there.

Wayne Koessl:

Through the Chair and to the staff and to the College people do we really need a berm there?

Mike Pollocoff:

I think the berm was an attempt when the previous preschool went up the Smiths were insistent that, I think she referred to them as the little screamers, not be seen anywhere or heard or whatever. That was I think the previous owner's attempt to try and find a way to make that work. But what was proposed at that time was an unworkable situation in isolating a berm between the fences. So I think that an adequate fence that the kids couldn't climb or get over and provide some privacy rather than the berm is going to be better in the long run.

Wayne Koessl:

As I recall you're right because the previous owners the berm was put there to just placate them. They thought it was going to give them more privacy from the children.

Rick DuCato:

And it didn't. It invited the kids to get on top of the berm.

Wayne Koessl:

It just gave them a hill to climb. I would think for all reason the berm should go.

Rick DuCato:

I don't understand the maintenance of the berm that's in between the two fences. No one mows in between the two fences as it is. It just gets overgrown, so what.

Mike Pollocoff:

As long as there's a berm there that someone is going to try and get over it's going to be there. The berm can stay there, but I just think a fence of substance needs to be put on the preschool side to keep the kids on the preschool side. If they want to take the berm down so they have more usable land and have the fence be closer to the lot line that would be perfectly understandable.

Tom Terwall:

I'll close the public hearing. Jean, you had some additional comments?

Jean Werbie-Harris:

Just the information that we just talked about this evening with respect to rechecking that berm, adjusting the fence. I'll meet with the landowners on site and we'll walk through that as well as some other landscaping on the site that needs to be addressed. I do want to me with them regarding their monument sign and some of the other conditions of approval. But the staff does recommend approval of their Conditional Use Permit. Again, this was designed and constructed originally as a daycare. We feel that it's an adequate and a good use at this location. We'll visit with the police department to make sure that they're monitoring this particular area and see if there's any concerns or if there's anything that needs to be brought to our attention or to our public safety or public works department's attention at any point in time.

Tom Terwall:

I think today's children are a lot quieter than they were ten years ago.

Wayne Koessler:

Mr. Chairman, if there are not any further comments from the Commissioners I would move that we approve the Conditional Use Permit including the Site and Operational plan subject to the conditions outlined in the staff comments and the ones that Jean just added to the agenda.

Don Hackbarth:

I'll second that.

Tom Terwall:

It's been moved and seconded to approve the site and operational plan subject to the terms and conditions outlined in the staff memorandum plus those that were added tonight. All in favor signify by saying aye.

Voices:

Aye.

Tom Terwall:

Opposed? So ordered.

Don Hackbarth:

Can I ask a quick question? How did you come up with Caterpillar College? How did you come up with Caterpillar College? How did you come up with the name Caterpillar College?

Brian Quinn:

Good evening. My name is Brian Quinn, 8840 106th Avenue in Pleasant Prairie. I am the husband of Rachel Quinn who is the owner/operator of the Caterpillar College. The Caterpillar College started at St. Therese Church in Kenosha. It was the convent at the property was reconfigured to house the preschool. So it was more of a college atmosphere where you had the elementary school in the main building and the preschool in the other building. And the name just continued to carry on. People actually liked the name and the logo and all that.

Tom Terwall:

Thank you very much.

B. Consider the request of Randy Copenharve, agent for Uline for approval of Site and Operational Plan for the construction of a 1.1 million square foot warehouse Distribution building on the property located at 12575 Uline Drive.

Jean Werbie-Harris:

Mr. Chairman and members of the Plan Commission and the audience, this a request of Randy Copenharve, agent for Uline, for approval of Site and Operational Plan for the construction of a 1.1 million square foot warehouse distribution building on the property located at 12575 Uline Drive.

The petitioner is requesting approval of Site and Operational Plans for the construction of a 1.1 million square foot facility on the property located at 12575 Uline Drive in the Village. The facility will be the second warehouse on the property and will be located just west of the existing corporate office building and the existing warehouse, which is south of 104th Street which is County Trunk Q and east of County Trunk Highway U.

The proposed 1.1 million square foot distribution center referred to as W-2 is being planned to support Uline's ongoing business growth. The facility will be utilized as a distribution center for bulk storage / material handling equipment including shipping boxes, packing material and mailing supplies consistent with the existing warehouse/distribution center. The building will include approximately 32,000 square feet of office space.

On May 12, 2014, the Plan Commission conditionally approved Preliminary Site and Operational Plans for the mass grading and installation of storm water management facilities required for the construction of a warehouse/distribution building on the property.

Pursuant to the application, the W-2 facility will operate 24 hours a day, 7 days a week with 350 full-time employees at start up. Future employee staff growth is anticipated at this facility. There will be 3 warehouse shifts per every 24 hour period. For W-2, the following employee counts are anticipated: 100 office employees are anticipated at startup; 250 warehouse employees are anticipated at startup; 125 warehouse employees will be on the first shift. The remainder of the warehouse employees will be evenly distributed between the second and third shifts. The maximum number of employees expected on site is 300. This includes 200 warehouse employees during a shift change and 100 office employees.

The required parking spaces based on the Village Zoning Ordinance includes: Warehouse and distribution centers would require 100 parking spaces; the office would require 128 parking spaces, so the total would be 228 spaces plus the required handicapped accessible spaces pursuant to the State code. This building will operate independently so parking will be provided independently to ensure adequate parking. Total provided spaces as identified 415 which includes 12 accessible spaces. Anticipated daily average and maximum potential number of automobile trips to and from the site are estimated at 300 average and 350 maximum. Anticipated daily average and maximum potential number of truck trips to and from the site are 100 truck trips inbound and 100 outbound.

The property where the building and improvements are proposed are zoned M-1 (PUD), Limited Manufacturing District with a Planned Unit Development Overlay District. There are wetlands, woodlands, shoreland areas and 100-year floodplain located on the south in the periphery areas of the site. However these environmental areas are not located within any of the building development areas and will not be disturbed. The proposed development is consistent with the original conceptual plan that was presented and approved conditionally by the Village Board of Trustees on October 18, 2010 for the Uline Corporate Campus.

With that, I'd like to introduce Peter Kucha who is their architect and their design team leaders here from Uline.

Peter Kucha:

Hello, Peter Kucha with Eppstein Uhen Architects. My address is 333 East Chicago Street, Milwaukee, Wisconsin. I'll give you just a brief overview and sort of supplement what Jean has told you. So the building is about 1.1 million square feet primarily consisting of warehouse storage space. There's about 32,000 square feet of office space in the facility. The bulk of the office space will be on the north elevation where you see the large window openings and where you see the parking lot in the front. We're looking at two story office space over there. And then that will be supplemented with additional office space on the east and west ends mid point of the dock elevations of the building. There will be some shipping and receiving offices at those areas smaller in scale.

What we've done is we've taken the architecture of the first distribution center and picked up on those pieces and just sort of manipulated them a little bit to accommodate the functions that are taking place in the new distribution center. So you'll note the existing building is on the left in that upper slide, and the new proposed building is on the right, and there's more glazing, more window openings on the new facility because it will be additional office space on that elevation.

The building color is going to match the existing building. The height of the building is about 38 feet just like the existing building. So it's taking what's already been done and just modifying it slightly and replicating it to Uline's uses.

Tom Terwall:

Thank you. Anything further, Jean?

Jean Werbie-Harris:

No. I didn't know if there were any other staff members from Uline that wanted to comment or have any other issues to be addressed, concerns.

Randy Copenharve:

Hello, Randy Copenharve, 4308 Birch Avenue in Gurnee. No, we're very happy to be here again. Five years ago to this day we said we're going to be back and we are. And looking at this duplication here so we're very excited and thank you guys very much for the opportunity to continue to build in Pleasant Prairie.

Tom Terwall:

We're very happy to have you back.

Wayne Koessl:

You going to come back in five years agin?

Randy Copenharve:

Who knows, probably sooner.

Tom Terwall:

This is not a matter for public hearing.

Michael Serpe:

The employees that are going to be working here are they transfers from Illinois or are they new hires?

Randy Copenharve:

Predominantly we will do job fairs for new hires. This is a new building, new operation. This is not a relocation so this will be predominantly new hires so through our job fairs and searches.

Tom Terwall:

Anybody else?

John Braig:

Move approval.

Wayne Koessl:

Second.

Tom Terwall:

It's been moved and seconded then to approve the Site and Operational Plan subject to the terms and conditions outlined in the staff memorandum. All in favor signify by saying aye.

Voices:

Aye.

Tom Terwall:

Opposed? So ordered. Welcome. Good to have you.

7. ADJOURN.

John Braig:

So moved.

Judy Juliana:

Second.

Tom Terwall:

All in favor signify by saying aye.

Voices:

Aye.

Tom Terwall:

Opposed? We stand adjourned.

Meeting Adjourned: 6:36 p.m.

- A. Consider the request of Daniel Pratt, of Arco Murray, agent for the owner of Good Foods Group LLC, for approval of **Site and Operational Plan** for the construction of a 39,166 square foot addition to the facility located at 10100 88th Avenue in LakeView Corporate Park.

Recommendation:

Village staff recommends that the Plan Commission approve the **Site and Operational Plans** for an addition to Good Foods Group, LLC facility located at 10100 88th Avenue subject to the comments and conditions of the Village Staff Report of August 25, 2014.

VILLAGE STAFF REPORT OF AUGUST 25, 2014

Consider the request of Daniel Pratt, of Arco Murray, agent for the owner of Good Foods Group LLC, for approval of **Site and Operational Plan** for the construction of a 39,166 square foot addition to the facility located at 10100 88th Avenue in LakeView Corporate Park.

On November 12, 2013 the Plan Commission approved Site and Operational Plans for Good Foods to occupy the entire 56,335 square foot building with a 10,000 square foot area mezzanine located at 10100 88th Avenue in LakeView Corporate Park. At this time they are requesting approval of a 39,166 square foot addition with a 2,000 square foot mezzanine area. The addition will be used for increase production, cold storage and support infrastructure in for their business. Upgrades and improvements will be made to the existing office facilities to support the employees including employee break room, restrooms, QA lab, and maintenance areas.

Good Foods Group, LLC (GFG) is an all-natural food manufacturer focusing on preservative free dips, sides, and salads. GFG is a regulated food plant under the supervision of the Wisconsin Dairy Authority. The majority of GFG's business is mixing/blending ingredients and packaging those for both retail and food service accounts. GFG has been operating successfully in Chicago for four (4) years and within Pleasant Prairie for the past 18 months. The growth experienced at the facility has let GFG to seek this additional building expansion.

The GFG manufacturing process involves the following stages.

1. Raw material procurement: Raw materials are received such as fresh produce, Greek yogurt, IQF (individually quick frozen) vegetables etc. Their top 10 raw materials, at this time are Greek yogurt, IQF Spinach, raw avocado, IQF Kale, canned tomatoes, deli cups, cardboard boxes, IQF water chestnuts, raw celery and garbanzo beans. These will be received via truck shipments, refrigerated as applicable. In order to ensure freshness of ingredients, raw materials are delivered on a daily basis.
2. Store Raw Materials: Due to GMP (Good Manufacturing Practice) considerations, GFG processing occurs at 33°F -35°F. Raw materials are stored in ingredients refrigerator waiting processing.
3. Batch/Mix: Raw materials are combined and mixed into large batching and mixing machines, according to pre-determined recipes. The method of manufacture is very similar to a large scale, assembly line style kitchen. Avocados are skinned and de-pitted by hand. Avocado meats are placed into one bin for processing. Skin and pits are placed in another bin for removal from processing area. Other ingredients are batched and placed into stainless steel mixers for processing.
4. Package: Finished material is dispensed cold into packaging materials. This may include deli cups for retail customers or large food service bags for institutional customers.
5. Pasteurize: Food product is pasteurized on site utilizing high pressure pasteurization (e.g. no heat).
6. Packaging: Pasteurized products are placed into boxes and identified with blue shrink wrap. Pasteurized material is stored in raw ingredients refrigerator until it is shipped out. The top three (3) finished products are spinach dip, guacamole and hummus. These three (3) products make up for over 75% of anticipated production.

Pursuant to the application the occupancy is classified as Occupancy Type Factory Group F-1 (Moderate hazard) and Storage Group S-1 (Moderate-hazard) pursuant to the Chapter 3 of the 2006 International Commercial Code. Both classes are a permitted use in the M-2 District.

The existing parking lot along the west property line (rail road tracks) is allowed to have a zero setback to the property lined and the proposed fire lane adjacent to the south side of the building is allowed to be setback 5 feet from the property line which will allow the Fire Department access to the not only this building but the building to the south—Fair Oaks Farms West in the event of an emergency for either building.

The facility is operates Monday – Friday. 5:00 a.m. to 12:00 a.m. and includes two (2) shifts. Deliveries and shipments will come and go between 7:00 a.m. and 7:00 p.m. This facility is anticipated to have 125-150 total employees, which includes 15-20 office staff in management, accounting, ship/receiving and 125-130 production employees. At maximum, GFG anticipates 75 employees per shift, including office staff. This would be within five (5) years of opening the facility, and assumes aggressive growth.

Assuming aggressive growth, the facility could have as many as 150 employees on site at once, during the change of shift. The site currently has 193 parking spaces including six (6) handicapped accessible parking spaces. This exceeds the minimum requirement of the Village Zoning Ordinance of 80 parking spaces (5 spaces + 1 space per employee on the largest shift. GFG anticipates that at start up, 20 trucks will enter the site and leave the site per day).

GFG uses a variety of batch style food processing equipment. This equipment includes blenders, mixers, scales, stainless steel bowls, and stainless steel work tables. Packaging equipment will be used to dispense finished product into containers. High Pressure Pasteurization (HPP) will be utilized to preserve food materials without the use of chemical preservatives. Packaging equipment will take the food product from the HPP machine and into boxes or pallets for distribution to customers. Compressed air is used for packing equipment and nitrogen is used to package food products in an inert gas, increasing shelf life.

Solid waste will come in the form of spent food product, such as avocado skins/pits. Currently, this material is sent to a landfill via a dumpster. GFG is investigating innovative ways to continue minimizing food waste. One example is using spend product to send to pig farmers. Avocado skins/pits are a valuable source of nutrients for pigs and can be used as a viable food source.

Liquid waste will come in the form of wash down water. The plant will be washed down to ensure cleanliness and compliance with applicable regulatory agencies. Wash down water will be limited to low concentrations of the raw materials, diluted with a significant amount of wash-down water. The current facility has a triple catch basin installed to remove the fats/oils/greases and sampling manhole prior to entry into the public waste water system.

GFG will install an alarm system as part of the building's addition, including closed circuit cameras to provide site security. This system will be provided, maintained, and connected to a third party security vendor.

The site will be maintained by a landscaping service to ensure the vegetation is maintained regularly. Similarly, a building engineer will provide routine maintenance to both the exterior and interior of the building to keep the property in working order.

RECOMMENDATION:

Village staff recommends conditional approval of the Site and Operational Plans subject to the following conditions.

1. The plans have been reviewed for conformance with the Village Ordinances and generally accepted engineering practices and Village policies. Although the data has been reviewed, the design engineer is responsible for the thoroughness and accuracy of plans and supplemental data and for their compliance with all state and local codes, ordinances, and procedures. Modifications to the plans, etc. may be required should errors or changed conditions be found at a future date. **The following changes shall be made to the Site and Operational Plans and three (3) revised plans shall be submitted for final staff review and approval prior to issuance of any permits to commence construction.**
 - a. The Title Sheet (T1.1) shall include the following:
 - i. The zoning of the property, M-2, General Manufacturing District.
 - ii. The amount of open space, post addition construction (minimum of 25% open space/green space is required).
 - iii. The number of on-site parking spaces, both pre- and post-construction.
 - iv. It is recommended that Village contact information also be included on the title sheet: Building Inspection Department, Fire & Rescue Department and Community Development Department contact names and telephone numbers.
 - v. In order to calculate clean water/building permit the following is needed. Add a chart or table to the title page which includes:
 - (1) the total impervious building and pavement addition areas -- square footage area and percentage of impervious surface added;
 - (2) the total impervious building addition area-- square footage area and percentage of impervious surface added.
 - b. A preconstruction meeting is required once plans are final approved by the Village, prior to starting construction. Place the following note on the cover sheet. "Prior to construction, a pre-construction conference must be held at the Village offices. The preconstruction conference shall be scheduled and moderated and minutes taken/distributed by the designing engineer of record". Contact Jean Werbie-Harris to coordinate the meeting. A sample agenda can be provided.
 - c. A Site Civil Plan, with dimensions (1" = 30') engineering scale shall be included in the plan set. Without a dimensioned plan, parking, building, and other setbacks, as well as drive and maneuvering lane widths, and radii cannot be determined. For example: **the** maneuvering lane width at the northwest corner of the building appears narrow (30 feet required for a fire lane, unless otherwise approved by the Village Fire & Rescue Chief).
 - d. In order for the shared fire lane to serve the adjacent land to the south (Fair Oaks Farms), an Emergency Cross Access Easement shall be provided.

- e. It appears that the existing parking lot and maneuvering lanes are not curbed and guttered. New parking areas and maneuvering lanes shall be curbed and guttered, unless the Plan Commission modifies this requirement.
- f. Pursuant to the plan set drawings, it is difficult to determine what is occurring along the west side of the new building addition. A dashed line is shown on the applicable plan sheets, but what does that dashed line signify? Is the area immediately adjacent to the west side of the building addition grass or pavement? Clarify on all applicable plan sheets.
- g. If there is a grass/turf area along the west side of the building addition, then all service doors on the west side of the building need to have a paved walkway extending from the doors to the hard-surfaced parking lot.
- h. Need to provide a detail of the proposed retaining wall along the south side of the property (height, materials, color, and cross-section).
- i. The proposed landscaping, or lack thereof, on the Landscape Plan (C-6), appears to be deficient (i.e. there are no new trees, shrubs, other plantings depicted).
- j. Pursuant to the plans, the front parking area traffic flow along 88th Avenue is proposed to be disconnected at the southern end from the pavement to the immediate south (southern truck access driveway). This is not acceptable with the Fire & Rescue Department or Planning Department for site circulation. Site signage shall be utilized to prohibit truck traffic from entering the car parking lot.
- k. The truck turning movements for the at-grade truck door located at the extreme northwest corner of the building addition as shown on the Landscaping Plan (C-6) traverse through the designated parking spaces. How will truck maneuver if vehicles are parked in those spaces? Clarify/redesign.
- l. The plans shall show the location and height of any rooftop mechanical units located on the building addition. All rooftop units shall be sufficiently screened as viewed from the 88th Avenue travel lanes. Or, the rooftop units shall be sufficiently set back so as not to be visible from the 88th Avenue right-of-way.
- m. The exterior building materials and colors of the addition shall match the existing exterior building materials and colors. Note on the plans.
- n. The hydrant detail currently in the plan shall be removed and replaced with the Village's standard detail. Hydrants shall meet Village specifications per Chapter 405 of Village Municipal Code. Also, include thrust blocking details.
- o. The pavement area limits on the west side of the addition is unclear and shall be clarified. Is there green space by the building or is this proposed pavement? (I.E. there is a dashed line indicating new drive edge, however, the pavement plan shows proposed new pavement up to the building etc.)
- p. Plan sheets are not plotted to scale. Revised plans shall be plotted to scale.
- q. Fire hydrant spacing around the building addition shall be reviewed by the Fire Department. As shown there may be inadequate hydrant spacing.
- r. Eliminate the water line under the building and provide alternate routing if needed or required by the Fire & Rescue Department.
- s. All water mains and storm sewer extensions shall have tracer wire installed. Also, eliminate the reference to "City of Elkhorn" in the water main specifications (item 6).

- t. The invert elevation (676.77) of the proposed 15-inch outfall on the southwest side of the property is over a foot below existing grade. Revise the plan to have the storm sewer discharge at existing grade with positive drainage downstream.
 - u. Is the asphalt pavement all heavy duty pavement per the detail?
 - v. Extend the silt on the north side, east past the entire new project limits. Extend the silt fence on the south side parallel to the 685 contour to the property line.
 - w. The plan shall show temporary inlet protection locations.
 - x. Reference the existing drainage way and project limit on the grading plan and note "no work or fill to be placed in existing drainage way".
 - y. Provide details for to the locations of the trash and dumpster locations and screening.
 - z. There shall be no outside storage of recycled products or materials, pallets or waste materials. These items shall all be stored inside the building or in a dumpster/enclosure.
2. Compliance with the conditions of the attached memorandum dated August 22, 2014 from the Village Fire & Rescue Department. ***Pursuant to condition #2 a letter shall be submitted to the Fire & Rescue Department prior to obtaining building permits (on GFG letterhead) stating that the project will comply with all requirements of this memo. A copy of this letter shall also be provided to the Community Development Department.***
 3. Compliance with the ***attached*** comments from the Building Inspection Department in the August 11, 2014 memorandum.
 4. Written approval of the Site and Operational Plans from LakeView Corporation Commercial Association shall be submitted to the Village prior to obtaining building permits.
 5. **Upon approval of the revised Site and Operational Plans, and prior to the issuance of the required permits an electronic pdf of all plan sheets shall be provided to the Village.**
 6. **Prior to work commencing site and building improvements all required permits shall be issued by the Village.**
 7. The hours of construction activity, operating heavy machinery or equipment associated with the grading, erosion control device installation, and overall site development shall be limited to Monday through Friday from 7:00 a.m. to 10:00 p.m. and Saturday and Sunday from 7:00 a.m. to 6:00 p.m.
 8. There shall be no construction parking permitted on 88th Avenue. On-site (off-street) parking shall be designed to accommodate all construction related workers and site visitors.
 9. The Village shall approve of the location of any construction trailers that may be parked on the site during construction activities. No construction trailers shall be parked in Village rights-of-way. All construction related signage shall be approved and permitted by the Village.
 10. The site shall not be used for any parking (neither overnight nor during the day) of junked/inoperable/dismantled/unlicensed vehicles. All junked/inoperable/dismantled/unlicensed vehicles that are parked overnight will be issued citations.

11. The owner shall comply with all provisions of the Site & Operational Plan approvals, including compliance with the Village Performance Standards.
12. At no time shall the site be used to sell or advertise any vehicles that are "for sale".
13. No vehicular parking will be permitted in driveways, maneuvering lanes, fire lanes or on landscaped areas.
14. There shall be no outside banners, strings of pennants, flags, inflatable devices or streamers affixed or attached to the building(s), light poles, ground or landscaping, etc.
15. There shall be no long-term semi-truck/trailer or box truck storage parking permitted on the site that is not used in the regular operations of the facility.
16. There shall be no outdoor storage or display of materials, goods or equipment on this site, unless as approved by the Village.
17. The use of semi-trailers, storage units, storage bins, roll-off storage devices (e.g. P.O.D.S., S.A.M.S.) or other trucks, for storage purposes is prohibited. Outdoor storage of any materials, including but not limited to: raw materials, business supplies, pallets, crates, etc., is prohibited. (The proposed food processor will be allowed adjacent to the screen wall.)
18. No use shall be conducted in such a way as to constitute a public or private nuisance or to violate any of the performance standards set out in Section 420-38 of the Village Zoning Ordinance.
19. Each handicapped accessible parking space shall be appropriately signed and painted on the pavement pursuant to ADA requirements.
20. Prior to occupancy a copy of the Department of Agriculture, Trade and Consumer Protection for food processing plant license shall be submitted to the Village.



Office of the
Chief of Fire & Rescue
Doug McElmury

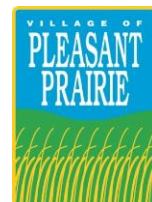
VILLAGE STAFF MEMORANDUM

TO: Jean Werbie-Harris, Community Development Director
FROM: Doug McElmury, Chief Fire & Rescue Department
CC: Deputy Chief, Craig Roepke
Lt. Thomas Clark, Fire & Rescue Department
Peggy Herrick, Assistant Planner, Community Development
SUBJECT: Review of the Good Foods Expansion Plans
DATE: 22 August, 2014

This is a review of the Site and Operational Plan for the proposed addition to Good Foods. The facility is an existing building of 56,430 square feet, with a proposed addition of 39,166 square feet. The building is located at 10100 88th Avenue.

The Fire & Rescue Department will be responsible for providing fire prevention inspections of this facility, twice annually. The concerns of the Fire & Rescue Department are as follows:

1. **Distribution of Comments:** *the person who obtains the building permit to all Contractors and Subcontractors affected by this document shall distribute Copies of these comments. This document outlines critical times and deadlines. All recipients of this document need to become familiar with the contents.*
2. **Compliance:** A letter shall be submitted to the Fire & Rescue Department prior to receiving a building permit, stating that the project will comply with all requirements addressed within this document.
3. In the event a conflict in code(s) is identified, or a conflict with the insurance carrier criteria occurs, the more stringent shall apply. In the event this conflicts with any codes adopted by the State of Wisconsin, the owner must petition the State directly for a variance. The Owner must demonstrate that they will provide materials or design equivalent to the code or that they will exceed the code when petitioning the State and or Village when applicable.



Upon review of the plans submitted, we have the following concerns:

- This is a review of the Site and Operational plan, however, it is understood, that typical and customary fire protection features have not been shown of the plans, dated: 7/18/14.
- AED. Because of the overall building size the owner shall install one or more public access Automatic External Defibrillator (AED) onsite for employee use in the event of a sudden cardiac arrest. The Fire & Rescue Department can provide the training necessary to perform CPR and to operate the AED.
- Fire Alarm Control Panel: The main FACP is existing, a determination will need to be made if it can adequately support the addition.
- Fire safety system plans, such as fire sprinkler and fire alarm plans, will need to be submitted to the State of Wisconsin Department of Safety and Professional Services and also to this fire department for review. No installation of any fire protection system is allowed until a satisfactory review is obtained from **both** departments. A Wisconsin Licensed Sprinkler Designer shall determine if the existing combination water main has adequate capacity for the additional sprinkler work.
- Water mains shall not run under the building as shown on Sheet C-5. Consider feeding the new hydrant on the south side of the building directly from the municipal water main on 88th Ave.
- Fire hydrants: Hydrants shall always be visible and accessible, in particular in any area where trailer trucks will be parked or staged. The hydrant on the south side shall be moved closer to the south drive so that it can kept clear of snow. Generally no more than 5' off the road and protected by bollards.
- Truck staging shall not decrease the width of the fire lanes. The fire lane in the southwest corner of the building shall be placed as far from the building as possible, up to the height of the building away.
- The parking lot for cars on the east side of the building shall be connected to the south fire lane
- All exit/entry doors shall have a hard surface leading to another hard surface such as a sidewalk, fire lane or parking lot. This is not shown on Sheet C-3
- Rack storage: If it is the intent to use rack storage, that rack storage configuration must be reviewed by the fire protection contractor to assure adequate fire sprinkler protection. Rack storage shall not adversely affect the maximum exit distance requirements. This process needs to begin immediately to assure no interruption in the construction timeline and to assure the opening date will be met.
- Severe Weather Shelter: The architect shall identify the area within the building that can be used as a "severe weather shelter" or "safe haven" during severe weather such as a tornado. That area will be identified with signage.

- The fire sprinkler and fire alarms systems shall have a current annual test on file with the Fire and Rescue Department and the following items completed:
 1. After upgrading the FDC to the current Village standard the FDC must be tested
 2. Existing hydrants must be flushed, greased and inspected
 3. All underground water main valves shall be exercised

4. Fire and Rescue Department Review and Comments:

A. Site and Operational Permits

1. Site accessibility
2. Fire Pump Location **Existing**
3. Pumper Pad **Existing**
4. Fire hydrant spacing

B. Conditional Use and Operational

1. Standpipe outlet locations **Not shown at this time.**
2. Fire alarm pull stations **Not shown at this time.**
3. Emergency and Exit Lighting **Not shown at this time.**
4. Fire extinguishers **Not shown at this time.**

5. **Plan Review, Permits and Fees:** The plans for the fire protection underground, aboveground and fire alarm system shall be submitted for review a minimum of four (4) weeks before installation is scheduled to begin. The Village will use an independent fire safety consultant for review of all fire protection plans submitted. A satisfactory review must be completed before any permits will be issued and before construction can begin.

6. **Insurance Carrier:** The Owner of this project shall submit to the insurance carrier for review the plans for both underground water distribution and fire protection prior to construction. The Fire & Rescue Department shall receive a copy of the comments when plans are submitted for review.

7. **Hazardous Occupancies:** The Fire & Rescue Department will need more than the typical four week time period to review proposed Hazardous Occupancies. The owner must contact the Fire & Rescue Department as soon as possible to begin the review process.

8. The following information must be submitted with the sprinkler plans for review:

- Building height:
- Number of stories/floors:
- Mezzanines:
- Clear space:
- Elevators:
- Hazard class:
- Commodity:
- Maximum storage height:
- Square footage, office space:
- Square footage, Manufacturing including maintenance and equipment:
- Square footage, receiving space:
- Square footage, shipping space:

Square footage, warehouse space:
Exterior storage:
Fire protection:

9. **The following Fees and Permits are generated directly from the Fire & Rescue Department.**

NOTE: Permits are required from the Fire & Rescue Department for the installation of water main in addition to any permits required by other Village of Pleasant Prairie Departments.

Bulk Water

- Water Usage
- Fire Protection Plans for Underground and Aboveground
- Fire Alarm System Plans
- Kitchen Hood Systems Plans
- Occupancy Permit & Re-Inspection fees

Permit fees shall be paid at time of plan submission. Work cannot begin until all permits have been issued. A typical review turnaround is four weeks.

10. **Required Licenses:** A Wisconsin licensed fire protection contractor and Wisconsin licensed sprinkler fitters must install underground fire mains and aboveground fire protection. Periodic inspections of the job site will be made by fire inspectors to assure compliance.

11. **Pre-Construction Meeting:** A pre-construction meeting shall take place with the general contractor, the fire protection contractor, the Fire & Rescue Department, Building Inspection Department and any other sub-contractor prior to the installation of any underground fire protection. The purpose of this meeting is to assure that the requirements of the State of Wisconsin that only a Wisconsin licensed sprinkler fitter shall perform the installation of all devices, etc. All parties will be asked to initial this document and or permit. Any violation of the installing requirements will be reported in writing to the State of Wisconsin Department of Safety and Professional Services.

12. **Site Access:** Access shall be provided around the perimeter of the site for all Fire Department apparatus, and must comply with the State of Wisconsin and the International Building Code, 2009 edition. A minimum wall-to-wall turning radius of 45'-0" shall be allowed for apparatus movement.

- a. All entrances from public streets, as well as road and driveways around the proposed building must be a minimum of 30 feet wide.
- b. Two access points from a roadway will be needed for this facility.
- c. All exterior exit pathways as well as access to the Fire Pump Room shall have a hard surface, leading to a hard surface.
- d. An exterior personnel door shall be located in close proximity to each fire sprinkler riser.
- e. Each door must access from the outside.

13. **Sprinkler System:** The building shall be equipped with an “automatic fire sprinkler system”. The systems shall be designed and constructed to the current edition of NFPA 13, Automatic Fire Sprinklers and the Village of Pleasant Prairie Ordinance 180-16, Automatic Fire Sprinklers.
14. **Fire Pump:** The fire pump is existing, it will need to be determined if the fire pump will be sufficient to supply the added fire sprinkler and stand pipe hose systems. There shall be direct ingress/egress from the fire pump room directly to the exterior of the building; a paved surface shall lead to the fire pump room. There shall be Emergency Lighting installed within the Fire Pump Room. The pump test header location shall comply with 180.16.
- **Storage:** The Owner and Tenant both need to be aware of the restrictions that apply to the storage of pallets, cardboard, finished products, etc. Maximum height, width and aisle ways must be maintained and will be enforced. The same concerns apply to the storage of large quantities of combustibles (plastics, plastic wrap and cardboard) such as those used in packaging and storage.
- NOTE:** Dependent upon storage configurations and the possible use of in rack storage; in rack sprinkler protection may be required.
15. **Water Service:** The main must be sized by the fire protection (sprinkler) contractor. No main is allowed to travel underground, under the building.
16. **Plan Review (Underground):** A review of the underground drawings is required along with the fire protection drawings before a permit will be issued by the Fire & Rescue Department. Underground plans shall be submitted a minimum of four (4) weeks before installation begins.
17. **Standpipes:** In lieu of 1.5 inch hose stations, the building shall be equipped with standpipes that shall consist of 2-1/2 inch NST valve, capable of delivering 250 GPM, at 75 PSI measured at the standpipe valve, when supplied by the fire department pumper, in the event no fire pump is needed. The standpipes shall be wet and placed adjacent to all exterior exit doors, same side as the door handle/knob. Village Ordinance 180.16 G.
18. **Fire Hydrants:** Fire hydrants shall be spaced no more than 350 feet apart around the perimeter of the building, per Village Ordinance 180-16. The insurance carrier must agree in writing to the hydrant spacing. As many hydrants as possible shall be supplied directly by municipal water. The distance from the finished grade line to the lowest discharge shall be no less than 18 inches and no more than 23 inches. The Fire Department connections shall be located, and of sufficient height where typical snow fall or snow removal operations will not obstruct access.
19. **Fire Hydrant Acceptance:** This project will include the installation of water mains for domestic and fire protection use. Prior to the fire sprinkler system connection to any new water mains (including water mains, fire hydrants, laterals leading to the building and risers) must be hydrostatically tested flushed according to National Fire Protection Association (NFPA–National Fire Code) Standard 24 and witnessed by the Fire Chief and or the Chief’s representative, the installing contractor and the fire sprinkler contractor at a minimum.

20. Fire hydrant and water main flushing can be disruptive to the job site and requires significant coordination of all sub-contractors by the General Contractor. Nonetheless flushing is an essential part of assuring public safety.
21. The General Contractor is highly encouraged to coordinate the flushing of all new water mains, fire hydrants, laterals leading to the building and risers with both the sub-contractors responsible, the Village of Pleasant Prairie Engineering Department, Fire & Rescue Department and the Water Utility Department, prior to seeking a 'clean water sample' on this site.
22. **Pumper Pad:** The pumper pad is existing for this building. There shall be dedicated space for a fire engine to have unobstructed access to the Pumper Pad. Both the Fire Department Sprinkler connection and the fire hydrant shall be installed remote from the building and located a minimum distance from the building equal to the highest wall. The fire hydrant shall be located no more than five (5) feet from the roadway and the Fire Department sprinkler connection shall be placed no more than five (5) feet from the fire hydrant. The Fire Department connection shall be constructed along with an underground drain with access for inspection. A guideline detail is attached and is meant to illustrate the requirements needed to meet the requirements stated in Village Ordinance 180-16.

NOTE: The Fire Department Connection will need to be brought to the current standard of the Fire and Rescue Department.

23. **Bollards:** Shall be placed near all on site fire hydrants, remote post indicator valves (PIV) and Fire Department connection(s) to prevent damage. Bollards shall be 6 inches in diameter. Bollards shall not obstruct charged fire hoses. It is recommended that the Fire Department approve the location of the bollard(s) before final placement is made.
24. **Strobe Light:** A strobe light shall be provided for each riser and installed vertically above each sprinkler water flow bell. The strobe light shall operate for a sprinkler water flow. The lens color shall be RED. The strobe light shall meet Village specifications as found in section 180-16 K of the Sprinkler Ordinance.
25. **Fire Alarm System: The system shall be fully addressable so that detailed information will be received about the device in alarm.** Utilizing a fire pull station, sprinkler water flow, or any other fire detection device that maybe installed in this building shall activate the internal fire alarm system.
 - a. **Manual Fire Alarm Pull Stations:** Shall be located at a minimum, immediately adjacent to each exterior door. Any additional exterior doors will be required to meet this requirement. The pull station shall not be placed in the area of the door, but immediately adjacent to the door jamb.
 - b. **Pull Stations and Audiovisual Alarms:** Shall be installed per ADA requirements.
 - c. **Smoke and Heat Detection:** Shall be installed as required.
 - d. **Tamper Switches:** Tamper switches shall be placed on all sprinkler valves and be identified on the annunciator panel.
 - e. **Fire Alarm Control Panel: Shall be addressable.** The annunciator panel type shall be approved by the Fire & Rescue Department. The Fire Alarm Control Panel shall be

located within the Fire Pump Room. The panel shall identify a fire sprinkler water flow by riser, and the specific locations of the fire alarm pull stations and any other fire detection devices that may be installed in this building.

- f. **Annunciator Panel: Shall be addressable.** The annunciator panel type shall be approved by the Fire and Rescue Department. The panel shall identify a fire sprinkler water flow by riser, and the specific locations of the fire alarm pull stations and any other fire detection devices that may be installed in this building.
- g. **Central Station:** The Fire Alarm Control Panel shall transmit all fire alarm, tamper, trouble and supervisory signals to a central station that is certified by Underwriters Laboratories (UL) and/or Factory Mutual (FM) and approved by the Fire & Rescue Department. The owner shall provide such documentation for approval. It is recommended that the owner consult with the Fire & Rescue Department prior to signing any contracts with the Central station.
 - 1) The central station shall be provided with this information regarding the geographical location of this alarm:

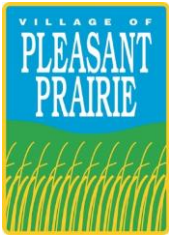
Village of Pleasant Prairie, County of Kenosha, State of Wisconsin

Fire: Pleasant Prairie Fire & Rescue
Medical: Pleasant Prairie Fire & Rescue

Phone numbers:
Emergency: (262) 694-1402
Non-emergency: (262) 694-7105
Business: (262) 694-8027

- 26. **Knox Box:** Knox Boxes shall be provided for the addition, a determination of the exact number required will need to be made during the pre-construction meeting. The Knox Boxes shall be Model 4400. Two sets of all keys (Master, fire alarm pull station, annunciator, elevator, etc.) shall be placed within the box, as well as a copy of the pre-fire plan.
- 27. **MSDS Knox Box:** A minimum of One (1) Knox Box(s) designed for Material Safety Data Sheet storage shall be provided, if not already present. The box is to contain the data sheets on all products that are considered hazardous within the facility. The MSDS Box(s) shall be installed within the Fire Pump Room.
- 28. **Fire Extinguishers:** Shall meet NFPA 10 (Portable Fire Extinguishers) for the specific use of the building and be in sufficient number. Final approval, of fire extinguisher locations and quantity, will not be given until occupancy is taken. The company providing the fire extinguishers shall submit a letter to the Fire & Rescue Department stating the locations and size of the extinguishers are in compliance with NFPA 10.
- 29. **Emergency and Exit Lighting:** Exit and Emergency Lighting shall be provided and shall have battery backup. Combination units are acceptable and recommended. An Emergency Generator eliminates the need for battery backup. Exit and Emergency Lighting shall not be placed on electrical circuits that cannot be disturbed or interrupted, this is for test purposes. These circuits shall be clearly labeled. An Emergency light shall be placed within the fire pump room. Emergency and Exit lighting will be inspected after sunset to assure it is adequate and meets the Code.

30. **Final Inspection:** The General Contractor shall provide the following documentation at the time the Final Inspection takes place and before a building occupancy certificate will be issued.
- a. The fire protection contractor shall provide the owner with a letter (upon completion of the sprinkler work) stating the sprinkler system, or portion thereof, is “100% operational and built according to the design”, Village Ordinance, 180-16 N.
 - b. Copy of contract with fire alarm central monitoring station.
 - c. Copy of UL and/or FM certificate(s) for the fire alarm central monitoring station.
 - d. Copies of the fire protection underground flushing documents.
 - e. Copies of the underground and fire sprinkler hydrostatic test certificates.
 - f. Copies of the fire sprinkler operational test certificates.
 - g. Copies of the fire alarm test documents.
 - h. Copies of other test documents such as, hood/duct, smoke, etc...
 - i. The Pleasant Prairie Fire and Rescue Department shall have all information needed for our pre-fire plan prior to occupancy.
 - j. Provide two- (2) CD's, one for the property owner and one for the Fire & Rescue Department. The disks shall include all Floor plans and fire protection plans for the building in an as-built condition.
 - k. Severe Weather Shelter: The architect shall provide for both the Owner and the Fire & Rescue Department the area within the building that can be used as a “severe weather shelter” or “safe haven” during severe weather such as a tornado.
 - l. Maps of the fire alarm and fire sprinkler system shall be placed in the fire pump room, near the fire alarm control panel; the maps shall be hung on the wall, with a waterproof covering and accessible to firefighters wearing bulky clothes and equipment.
 - m. AED, in place at such time a tenant takes occupancy.
 - n. A copy of the Emergency Plan must be submitted to the Fire & Rescue Department before occupancy.
 - o. Occupancy inspection fee and re-inspection fee will be assessed at the final inspection in accordance with ordinance 180-17.
31. **Occupancy:** All fire and life safety requirements must be in place prior to any building being occupied.

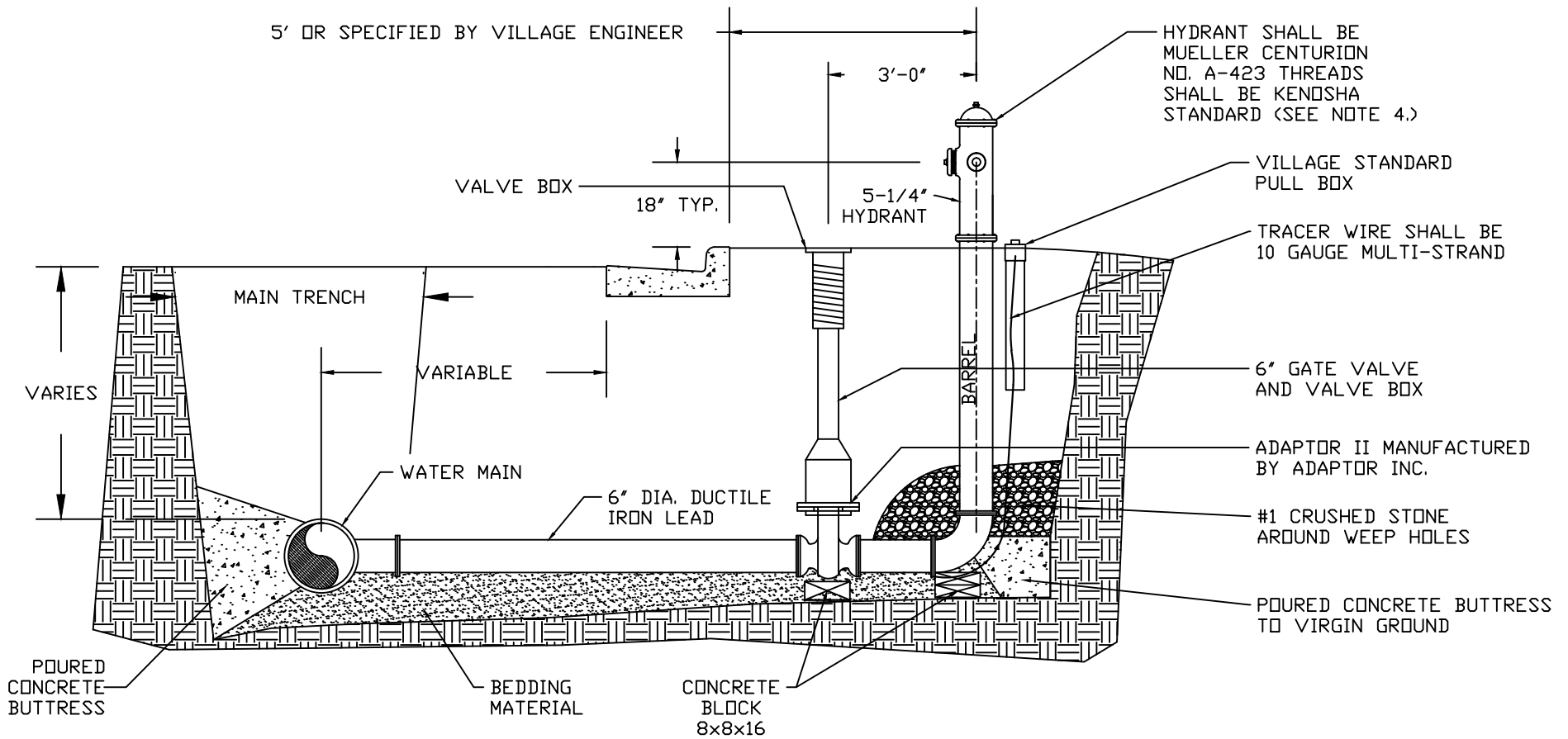


Village Staff Memorandum

To: Jean Werbie-Harris, Community Development Director
From: Sandro Perez, Building Inspection Superintendent
Subject: Good Foods S&O Review
Date: August 11, 2014

1. Building Inspection Department information:
Hours: Mon-Fri, 8am-5pm.
Phone# 262-694-9304
Email: buildinginspection@plprairiewi.com
2. Permit applications can be found online at pleasantprairieonline.com
3. Inspections are performed Mon- Fri 9am-4pm except electrical inspections; those are only Tue & Thu mornings. 48hr notice is required to schedule an inspection. Please note you must call and speak with a Building Inspection Department representative a voicemail or email will not constitute an inspection please plan accordingly. Final occupancy inspections require coordination with multiple departments and staff members there for a minimum of 72 hour notice is required. Any re-inspection fees due must be paid prior to scheduling a re-inspection.
4. All contractors requiring permits shall not commence work until permit issuance. We have 10 business days to review and issue permits please plan accordingly.
5. We inspect to the 2009 IBC, IEBC, IMC, IECC, IFGC, 2003 ANSI A117.1, 2011 NEC and WI. Plumbing code SPS 381-386.
6. All state approved drawing must be available at job site for inspector review.
7. Please submit emergency egress path / lighting plan and energy compliance worksheets form SBD 10512 to Building Inspection Department prior to issuance of building permit.
8. Fire alarm systems require two permits one from the Fire Department and one from the Building Inspection Department.
9. Any exterior building fire protection loop will require inspection by both the Fire Department and Building Inspection Department.
10. VOPP recommends all exterior lot and building lighting to be LED and Dark Sky compliant.
11. Any tradesmen requiring state license will be “carded” on the jobsite for compliance.

12. All equipment must be “LISTED” by a nationally recognized testing laboratory.
13. Documentation must be provided for available fault current at equipment, to verify short circuit current rating compliance per 2011 NEC 110.10
14. All equipment, materials, etc. must be rated for the environment in which they will be used.



NOTES:

1. MECHANICAL JOINTS FROM TEE TO VALVE AND FROM VALVE TO HYDRANT SHALL BE RESTRAINED WITH MEGALUGS AND STAINLESS STEEL BOLTS.
2. ALL BOLTS SHALL BE STAINLESS STEEL BOLTS.
3. REFER TO VILLAGE STANDARD SPECIFICATIONS FOR WATER MAIN CONSTRUCTION
4. KENDSHA THREAD SPECIFICATIONS - 2 EACH 2-1/2 INCH NST NOZZLE, 1 KENDSHA STANDARD PUMPER CONNECTION (TRAVERSE CITY IRONWORKS #405-26, 4 THREADS PER INCH AND 5.812 INCH DIAMETER).

SCALE: NTS

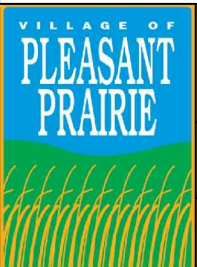
Standard Hydrant Assembly

DETAIL: W - 1

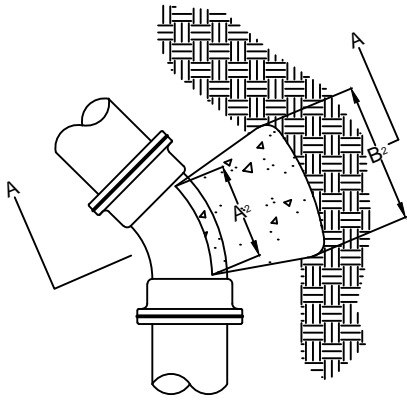
CREATED: 11-26-12

REVISED: 7-8-14

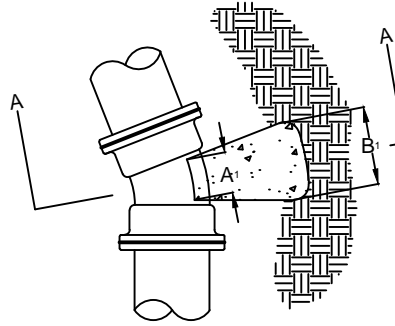
APPROVED BY: MIKE SPENCE



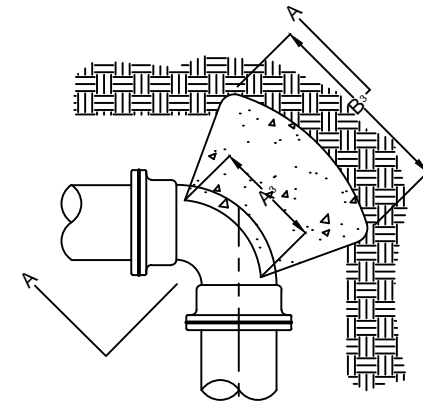
SCALE: NTS



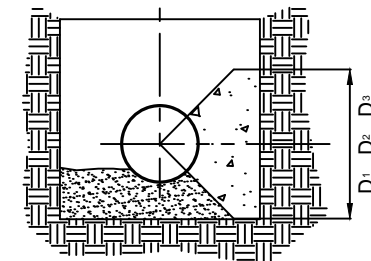
PLAN-45 DEG. BEND



PLAN-22 1/2 DEG. BEND



PLAN-90 DEG. BEND



SECTION A-A

BUTTRESS DIMENSIONS

PIPE SIZE	22 1/2 DEG. BEND		45 DEG. BEND		90 DEG. BEND	
	B ₁	D ₁	B ₂	D ₂	B ₃	D ₃
6"	1'-3"	1'-0"	1'-0"	1'-0"	1'-4"	1'-2"
8"	1'-6"	1'-4"	1'-4"	1'-2"	1'-10"	1'-6"
12"	2'-3"	2'-0"	1'-10"	1'-10"	2'-8"	2'-3"
16"	3'-2"	2'-6"	2'-6"	2'-4"	3'-10"	2'-10"
20"	4'-0"	3'-0"	3'-3"	2'-10"	5'-0"	3'-4"
24"	5'-3"	3'-4"	4'-0"	3'-3"	6'-4"	3'-10"
30"	6'-3"	4'-3"	5'-4"	3'-10"	8'-0"	4'-8"

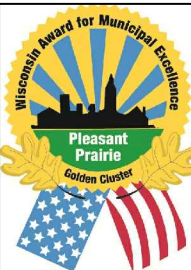
NOTES:

1. DIMENSIONS IN THE TABLE ARE BASED ON A WATER PRESSURE OF 150 PSI AND ON EARTH RESISTANCE OF 2 TONS PER SQ. FT.
2. DIMENSION (A) SHOULD BE AS LARGE AS POSSIBLE WITHOUT INTERFERING WITH MECHANICAL JOINT BOLTS.
3. SHAPE OF BACK OF BUTTRESS MAY VARY AS LONG AS POUR IS AGAINST FIRM UNDISTURBED EARTH.
4. ALL DUCTILE IRON PIPE AND FITTINGS SHALL BE WRAPPED IN POLYETHYLENE.
5. REFER TO VILLAGE STANDARD SPECIFICATIONS FOR WATER MAIN.



Buttress For Bends

DETAIL: W - 3



CREATED: 2-4-14

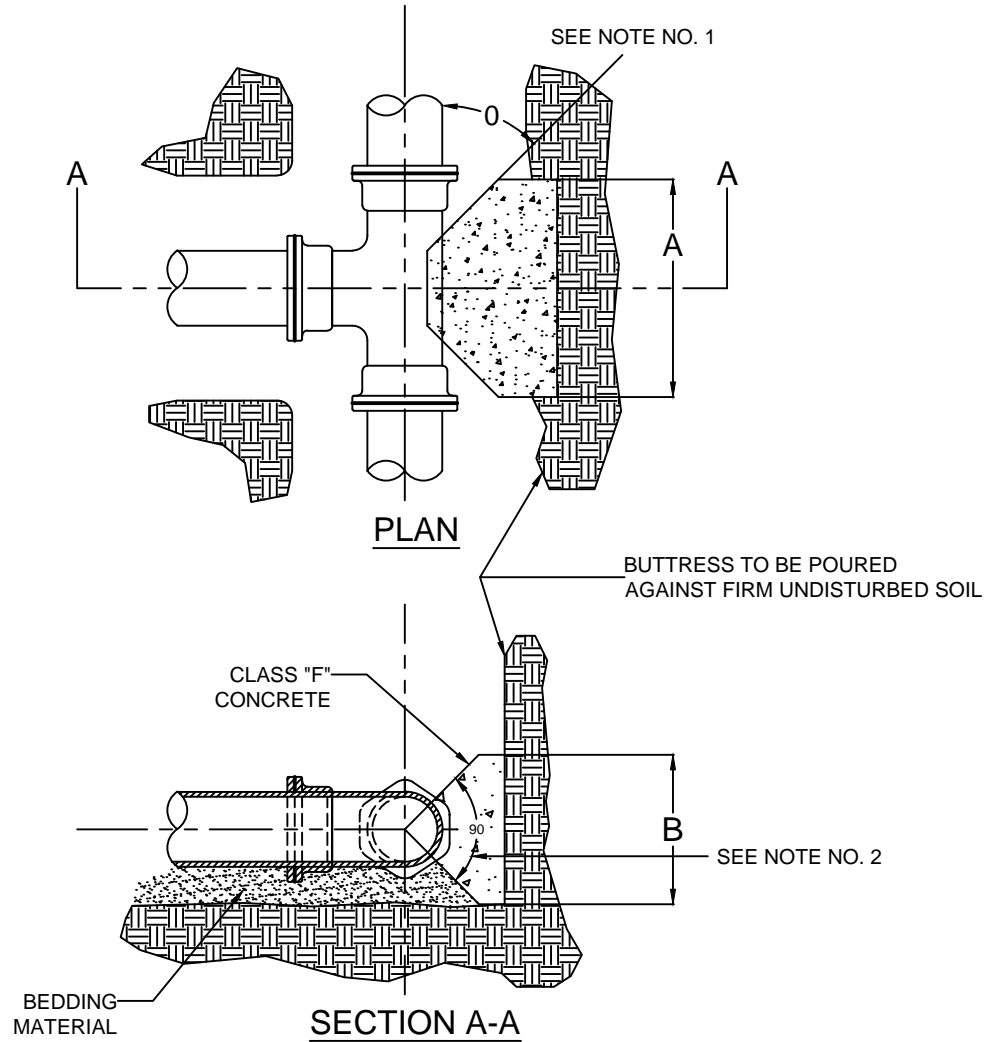
REVISED: 2-21-14

APPROVED BY: MIKE SPENCE

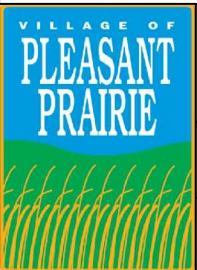
NOTES:

1. DIMENSION "C" SHOULD BE LARGE ENOUGH TO MAKE ANGLE "O" EQUAL TO OR LARGER THAN 45 DEG.
2. CONCRETE SHOULD BEAR ON THIS QUADRANT OF PIPE AS A MINIMUM.
3. DIMENSION "D" SHOULD BE AS LARGE AS POSSIBLE BUT CONCRETE SHOULD NOT INTERFERE WITH MECHANICAL JOINTS OR MECHANICAL JOINT BOLTS.
4. WHERE BUTTRESSES ARE NOT POSSIBLE BECAUSE OF POOR SOIL CONDITIONS OR LACK OF ROOM, STRAPPING SHALL BE PERMITTED.
5. BUTTRESS DIMENSIONS ARE BASED ON A SOIL RESISTANCE OF TWO TONS PER SQ. FT. AND A WATER PRESSURE OF 150 PSI.
6. REFER TO VILLAGE STANDARD SPECIFICATIONS FOR WATER MAIN.

BUTTRESS DIMENSIONS				
DIA.	A	B	C	D
6"	1'- 3"	1'- 0"	SEE NOTE NO. 1	SEE NOTE NO. 3
8"	1'- 6"	1'- 4"		
12"	2'- 3"	2'- 0"		
16"	3'- 2"	2'- 6"		
20"	4'- 0"	3'- 0"		
24"	5'- 3"	3'- 4"		
30"	6'- 3"	4'- 3"		



SCALE: NTS



Buttress For Tees

DETAIL: W - 3A



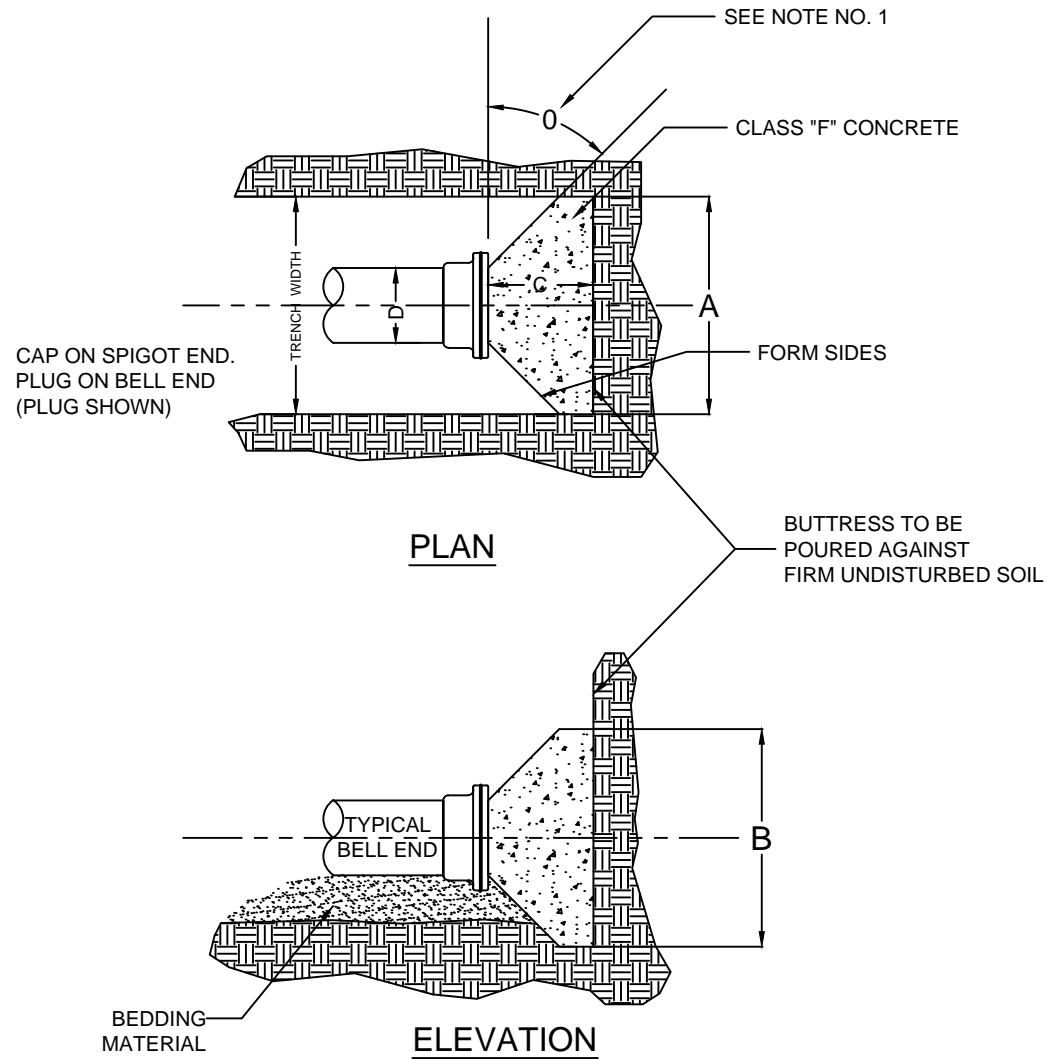
CREATED: 2-5-14

REVISED: 2-21-14

APPROVED BY: MIKE SPENCE

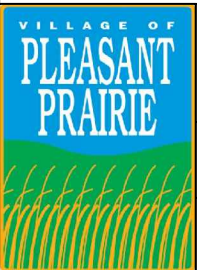
NOTES:

1. DIMENSION "C" SHOULD BE LARGE ENOUGH TO MAKE ANGLE "O" EQUAL TO OR LARGER THAN 45 DEG.
2. DIMENSION "D" EQUALS APPROX. I.D. OF PIPE LESS 2". AN EFFORT SHOULD BE MADE TO PREVENT CONCRETE FROM COVERING THE MECHANICAL JOINT BOLTS.
3. WHERE BUTTRESSES ARE NOT POSSIBLE BECAUSE OF POOR SOIL CONDITIONS OR LACK OF ROOM, STRAPPING SHALL BE PERMITTED.
4. BUTTRESS DIMENSIONS ARE BASED ON A SOIL RESISTANCE OF TWO TONS PER SQ. FT. AND A WATER PRESSURE OF 150 PSI.
5. REFER TO VILLAGE STANDARD SPECIFICATIONS FOR WATER MAIN.



BUTTRESS DIMENSIONS				
DIA.	A	B	C	D
6"	1'- 6"	1'- 2"	SEE NOTE NO. 1	SEE NOTE NO. 2
8"	2'- 0"	1'- 4"		
12"	2'- 5"	1'- 10"		
16"	3'- 4"	2'- 4"		
20"	4'- 3"	2'- 10"		
24"	5'- 2"	3'- 4"		
30"	6'- 9"	4'- 0"		

SCALE: NTS



Buttress For Dead Ends

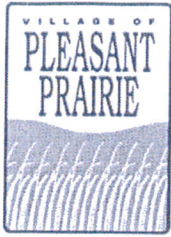
DETAIL: W - 3B

CREATED: 2-6-14

REVISED: 2-21-14

APPROVED BY: MIKE SPENCE





RECEIVED
JUL 25 2014
Village of Pleasant Prairie

VILLAGE OF PLEASANT PRAIRIE
SITE AND OPERATIONAL PLAN
AND CONDITIONAL USE PERMIT ZONING APPLICATION

USE THIS FORM FOR:

Tenants/Use changes proposing to occupy 50% or more of an existing commercial/industrial building.

To construct a new or addition to principal or accessory structure.

Use requires a Conditional Use Permit.

FOR OFFICE USE ONLY	
Application Filed on	7/25 2014
Preliminary Determination of Completeness on:	7/25 2014
Revised Plans Submitted:	20
Public Hearing Required: Hearing Date:	_____, 20__
Published on: _____ and _____, 20__	Notices sent on: _____, 20__
Approved by Plan Commission on _____, 20__	Zoning Administrator on _____, 20__
Denied by Plan Commission on _____, 20__	Zoning Administrator on _____, 20__

SECTION 1: GENERAL INFORMATION

NAME OF BUSINESS: GOOD FOODS GROUP

SITE ADDRESS: 10100 88th AVENUE

BRIEF PROJECT DESCRIPTION: CONSTRUCTION OF A BUILDING EXPANSION INCLUDING INTERIOR CONSTRUCTION OF ADDITION DOCK, COLD STORAGE, PROCESS AREAS, PACKAGING, AND SUPPORT SPACE.

PROPOSED NUMBER OF FULL TIME EMPLOYEES: 150

PROPOSED NUMBER OF PART-TIME EMPLOYEES: 0

SITE SIZE: 272,907 sq. ft. 6.27 acres

PROPOSED BUILDING SIZE: 39,166 sq.ft. HEIGHT: 35' ft.

PROPOSED ADDITION SIZE: _____ sq.ft. HEIGHT: _____ ft.

LEGAL DESCRIPTION: BEING ALL OF LOT 56 OF CERTIFIED SURVEY MAP NO. 1790, LOCATED IN THE NE. 1/4 OF THE SE. 1/4 OF SECTION 20 T.01N. R.22E, VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY, WIS.

TAX PARCEL NUMBER(S): 92-4-122-204-0053

CURRENT ZONING CLASSIFICATION(S) OF THE PROPERTY: M-2

1. Is a zoning map amendment proposed with this project? Yes No

▪ If yes, proposed Zoning Classification(s): _____

2. Is a zoning text amendment proposed with this project? Yes No

▪ If yes, provide a copy of the proposed text amendment with this application

3. If property is zoned M-1 or M-2, indicate the Occupancy Type pursuant to the Use and Occupancy Classification specified in Chapter 3 of the 2006 International Building Code (2006 IBC). Include all that apply and associated square footage for each classification:

- Factory Group F-1 (Moderate-hazard) 19,320 sq ft
- Factory Group F-2 (Low-hazard) _____ sq ft
- Storage Group S-1 (Moderate-hazard) 19,846 sq ft
- Storage Group S-2 (Low-hazard) _____ sq ft
- Business Group B _____ sq ft
- High-Hazard Group H* _____ sq ft
- Other _____ sq ft
- Other _____ sq ft

**If Use and Occupancy Classification is High-Hazard Group H please provide a detailed written narrative that explains the specific use, quantity of storage and handling of the high hazard materials along with appropriate MSSD sheets with this application.*

PUBLIC SERVICES:

1. Is the property serviced by Public Sanitary Sewer? YES NO
 - If no, the closest public sewer is located at _____
2. Is the property serviced by Public Water? YES NO
 - If no, the closest public water is located at _____
3. Maximum number of gallons/minute of water expected to be used per day is: 35

THIS APPLICATION IS FOR A: (check one)

- Preliminary Site and Operational Plan:** An applicant may apply for preliminary site and operational plan approval in connection with an erosion control permit application for early mass grading, or in connection with an early foundation permit, or for other good cause shown
- New Site and Operational Plan**
- Amendment to an existing Site and Operational Plan**
 - Date of initial site and operational plan approval: _____
 - Date of each approved amendment: _____

SECTION 2: EXISTING USES AND BUILDINGS ON THE SITE

Are there any existing buildings on the site? YES NO

- If yes, provide an attachment that explains the current uses on the property and current uses in each building and if the use(s) is proposed to continue; and the gross floor area and height of each building.
- If no, what is the current use of the property? _____

SECTION 3: PHOTOGRAPHS

Standard-sized photographs (not Polaroid) showing all aspects of the site (e.g. locations of proposed improvements, bodies of navigable water, wetlands, wooded areas, etc.) and of the exterior of structures or other site improvements, together with a statement regarding each photograph, which includes the date the photograph was taken, the location from which it was taken, the direction in which the camera was pointed, and a description of what is shown in the photograph. With respect to all existing signs, the applicant shall file photographs of all existing signs and shall specify in the written statement accompanying each such photograph and show the dimensions of such sign. Digital images are acceptable.

SECTION 4: CONDITIONAL USE

1. Does the proposed project require a Conditional Use Permit? YES NO
 - If no then skip to Section 5.
 - If yes, then continue with this Section.
2. Are you amending an existing Conditional Use Permit? YES NO
 - If yes, provide a copy of the Conditional Use Grant Document you are proposing to amend.
 - If no, continue with this Section.
3. If you answered YES to either question 1 or 2 above then this application shall include information as to how the proposed project will not impair an adequate supply of light and air to adjacent properties; increase danger of fire; cause traffic congestion or traffic circulation problems; create storm water flooding or drainage; create obnoxious odors, problems or otherwise endanger the public health, safety or welfare; will not hinder, harm or distract the provision of public services; and that the proposed project is not inherently inconsistent with either the district in which it is located or adjoining districts or neighborhoods as required pursuant to the Village Zoning Ordinance.

SECTION 5: NON-CONFORMING USE

1. Is any use on the site a nonconforming use? YES NO
 - If no, then skip to Section 7.
 - If yes, then continue with this section.
2. If you answered YES to question 1 above, prima facie proof of each element of legal nonconforming use status shall be submitted to the Village with this application (i.e. that the nonconforming use was legal in its inception, that the use was active and actual and not merely casual, occasional, incidental or accessory when it became nonconforming, that the use has been continuous with no gap of 12 or more consecutive months since it became nonconforming, that no building or structure housing the nonconforming use has been structurally repaired or altered to the extent of fifty (50) percent or more of its assessed value since the use became nonconforming, and that the use has not been changed in nature or physically extended or expanded since becoming nonconforming).

SECTION 6: PERFORMANCE STANDARDS

Pursuant to the Village Zoning Ordinance, any application for a permit under this ordinance or any use subject to the regulations and standards set forth in the Village Zoning Ordinance shall be accompanied by a sworn statement by the owner of the subject property that said property and use will be operated in accordance with the performance standards set forth in Section 420-38 of the Village Ordinance. Continued compliance with the regulations and standards is required. Violations of such standards shall be remedied as required by the Village Zoning Ordinance.

No land or building in any district shall be operated in such a manner so as to create any dangerous, injurious, noxious or otherwise objectionable fire, explosive or other hazard; noise or vibration, smoke, dust, dirt or other form of air pollution; water pollution; electrical, radioactive or other disturbances; glare; or other substance, condition or element (referred to herein as "dangerous or objectionable elements") in such amount as to adversely affect the surrounding area or premises; provided that any use permitted by this ordinance may be undertaken and maintained if it conforms to the regulations of this subsection limiting dangerous and objectionable elements at the specified point or points of the determination of their existence.

The Village may require additional information be submitted to ensure that the Village Performance Standards are being met.

SECTION 7: PLAN COMPONENTS

The application shall include a list of all documents, materials or information that are attached to and a part of the application form. Submit eight (8) full-sized and one (1) set reduced to 11" x 17" of all plans and other attachments shall be included as part of this application, except if a component has been waived or deferred in writing by the Village Zoning Administrator. **For specific details related to each of the required information and plans see the attachment entitled "Plan Components and Related Standards" in Section 420-57 of the Village Zoning Ordinance.**

- Application—Applicant, Site, Use, Project and Plan Information
- Application fee
- Operational plan
- Title sheet
- Survey
- Site plan
- Grading and drainage plan
- Building and fire protection plans
- Lighting plan
- Landscape and open space plan
- Signage plan *N/A.*
- Industrial/commercial waste survey
- Performance standards compliance
- Additional requirements, as determined by the Village Zoning Administrator, other appropriate Village staff members, or the Village Plan Commission, as appropriate.

Two or more plans may be combined, provided that all of the information submitted on the combined plan is clearly legible, but in no case shall the combined plans fail to show any of the information required for each individual plan as described below, unless such information is waived or deferred pursuant to the Zoning Ordinance.

SECTION 6: SIGNATURES

I,(We), hereby certify that all the above statements and all attachments submitted herewith are true and correct to the best of my knowledge. In addition I, (we) understand the requirements and procedures for Site and Operational Plan approval.

PROPERTY OWNER:

Name: Kurt B. Penn
(Please Print)

Signature: [Handwritten Signature]

Address: 10100 88th AVENUE

PLEASANT PRAIRIE WI 53158
(City) (State) (Zip)

Phone: 262 465 6900

Fax: 262-465-2901

E-mail: KPENNE@goodfoods.com

Date: 7/25/2014

APPLICANT:

Name: DANIEL PRATT
(Please Print)

Signature: [Handwritten Signature]

Address: 3110 WOODCREEK DRIVE

DOWNERS GROVE IL 60515
(City) (State) (Zip)

Phone: 331-251-2726

Fax: 331-251-2727

E-mail: DPRATT@ARCOMURRAY.COM

Date: 7/23/2014

Is the applicant the owner of the property? YES NO

If no, then either proof of the applicant's legal interest in the subject real property (e.g. accepted offer to purchase, lease, etc., which may be appropriately redacted to preserve confidential information) or written authorization signed by the owner for the applicant to act as the owner's agent in connection with the application shall be included with the application.

DEVELOPER (if Applicable)

Name: _____
(Please Print)

Signature: _____

Address: _____

(City) (State) (Zip)

Phone: _____

Fax: _____

E-mail: _____

Date: _____

USER OR OCCUPANT OF SITE::

Name: _____
(Please Print)

Signature: _____

Address: _____

(City) (State) (Zip)

Phone: _____

Fax: _____

E-mail: _____

Date: _____

OPERATIONAL PLAN

(1) Operational plan requirements. The applicant shall prepare and file as part of the application for site and operational plan approval an operational plan which shall include at least the following information or materials:

(a) A detailed narrative description of the operations, processes and functions of the existing and proposed uses to be conducted in or on the real property constituting the site, together with any diagrams, maps, charts or other visual aids that are helpful in understanding the operations and any potential adverse impacts on neighboring properties.

Good Foods Group, LLC (GFG) is an all-natural food manufacturer focusing on preservative free dips, sides, and salads. We will be a regulated food plant under the supervision of the Wisconsin Dairy Authority who. The majority of our business is mixing/blending ingredients and packaging those for both retail and food service accounts. This business has been operating successfully in Chicago for four (4) year and in Pleasant Prairie for 18 months. The growth experienced at the plant has led Good Foods to seek this additional building expansion.

Our process, briefly involves the following stages.

- 1. Raw material procurement: Receive raw materials such as fresh produce, Greek yogurt, IQF (individually quick frozen) vegetables etc. Our top ten (10) raw materials, at this time are Greek yogurt, IQF Spinach, raw avocado, IQF Kale, canned tomatoes, deli cups, cardboard boxes, IQF water chestnuts, raw celery and garbanzo beans. These will be received via truck shipments, refrigerated as applicable. In order to ensure freshness of ingredients, raw materials are delivered on a daily basis.*
- 2. Store Raw Materials: Due to GMP (good manufacturing practice) considerations, our processing occurs at 33°F -35°F. Raw materials are stored in ingredients refrigerator, awaiting processing.*
- 3. Batch/Mix Raw materials are combined and mixed into large batching and mixing machines, according to pre determined recipes. The method of manufacture is very similar to a large scale, assembly line style kitchen. Avocados are skinned and depitted by hand. Avocado meats are placed into one bin for processing. Skin and pits are placed in another bin for removal from processing area. Other ingredients are batched and placed into stainless steel mixers for processing.*
- 4. Package: Finished material is dispensed cold into packaging materials. This may include deli cups for retail customers or large food service bags for institutional customers.*
- 5. Pasteurize: Food product is pasteurized on site utilizing high pressure pasteurization (ie, no heat).*
- 6. Packaging: Pasteurized products are placed into boxes and identified with blue shrink wrap. Pasteurized material is stored in raw ingredients refrigerator until it is shipped out. The top three finished products are spinach dip, guacamole and hummus. These three products make up for over 75% of anticipated production.*

(b) A detailed description of the proposed project or activity giving rise to the need for site and operational plan approval and a detailed explanation of how such project or activity relates to the site and to the existing or proposed operations to be conducted in or on the real property constituting the site.

The Scope of Work includes providing a new building expansion to increase production, cold storage and support infrastructure in for their business. Upgrades and improvements will be made to the existing office facilities to support the employees including employee break room, restrooms, QA lab, and maintenance areas.

(c) Gross floor area of the existing building(s) and/or proposed addition.

Existing Building Area: 56,335 SF

Existing Mezzanine Area: 10,000 SF

Proposed Building Area: 39,166 SF

Proposed Mezzanine Area: 2,000 SF

(d) Anticipated hours of operation, hours open to the public, and hours of deliveries or shipments.

Monday – Saturday. 5am – 12am encompassing two shifts of employees.

This facility will NOT be open to the public.

Deliveries and shipments will come and go between 7am and 7pm.

(e) Anticipated startup and total number of full- and part-time employees.

At start up, this facility is anticipated to have 125-150 total employees including 15-20 office staff in management, accounting, ship/receiving and 125-130 production employees.

(f) Anticipated number of shifts and the anticipated number of employees per shift.

At maximum, we will have 75 employees per shift, including office staff. This would be within 5 years of opening the facility, and assumes aggressive growth.

(g) Anticipated maximum number of employees on site at any time of the day.

Assuming aggressive growth, the facility could have as many as 150 employees on site at once, during the change of shift. The site currently has 193 parking spaces including six (6) ADA, which is more than required for the five (5) spaces + one (1) space per employee on the largest shift (Source: Pleasant Prairie Zoning Ordinance for Manufacturing Use). Currently at Good Food Groups Chicago location a large percentage of production employees carpool to work.

(h) Number of anticipated students, participants or persons to be gathered in places of assembly, if applicable.

N/A.

(i) Number of parking spaces required per this chapter and the method used to calculate such number.

Parking ordinance requires that one (1) parking spot is provided for each employee, plus five (5) additional spots. This is per the Pleasant Prairie Zoning Ordinance for Manufacturing Use. Based on the fact that 75 employees will be the largest shift, 80 parking spots should be required.

(j) Number of existing and proposed on-site parking spaces to be provided (conventional spaces and handicapped spaces to be stated separately).

The site has 193 spaces provided including six (6) ADA spaces. See attached site plan.

(k) Anticipated daily average and maximum potential number of automobile trips to and from the site (excluding trucks).

Employees will arrive in the morning and leave at the end of their shift. Currently, over 95% of the employees each lunch on site.

(l) Anticipated daily average and maximum potential number of truck trips to and from the site.

Twenty (20) trucks will enter the site and leave the site per day.

(m) Types of goods and materials to be made, used or stored on site.

Our top ten (10) raw materials, at this time are Greek yogurt, IQF Spinach, raw avocado, IQF Kale, canned tomatoes, deli cups, cardboard boxes, IQF water chestnuts, raw celery and garbanzo beans. (n) Types of equipment or machinery to be used on site.

(o) Types of equipment or machinery to be used on site.

Good Foods uses a variety of batch style food processing equipment. This includes blenders, mixers, scales, stainless steel bowls, stainless steel work tables. Packaging equipment will be used to dispense finished product into containers.

HPP (High pressure process) will be utilized to preserve food materials without the use of chemical preservatives. Packaging equipment takes the food product from the HPP machine and into boxes or pallets for distribution to customers.

Fork lifts will be used for movement of pallets.

Compressed air will be utilized for packing equipment.

Nitrogen will be used to package food products in an inert gas, increasing shelf life.

(o) Types of solid or liquid waste materials which will require disposal.

Solid waste will come in the form of spent food product, such as avocado skins/pits. Currently, this material is sent to a landfill via a dumpster. Good Foods is investigating innovative ways to continue minimizing food waste. One example is using the spent avocados being ground and stored on-site to be hauled off to a bio-digester to be converted into energy. Good Foods also recycles all exhausted paper board boxes.

Liquid waste will come in the form of wash down water. The plant will be washed down to ensure cleanliness and compliance with applicable regulatory agencies. Wash down water will be limited to low concentrations of the raw materials, diluted with a significant amount of washdown water. The current facility has a triple catch basin installed to remove the fats/oils/greases and sampling manhole prior to entry into the public waste water system.

(p) Method of handling, storing and disposing of solid or liquid waste materials.

Solid waste materials are sent to landfill or recycled as per above.

Liquid waste materials will be sent down the drain, through a triple catch basin and into the public sanitary sewers.

(q) Methods of providing site and building security other than the Village Police Department.

A burglar alarm is installed with this building's modifications, including closed circuit cameras to provide site security. This system is provided, maintained, and connected to a third party security vendor.

(r) Description of the methods to be used to maintain all buildings, structures, site improvements and sites in a safe, structurally sound, neat, well cared for and attractive condition.

The site is maintained by a landscaping service to ensure the vegetation is maintained regularly. Similarly, a building engineer provides routine maintenance to both the exterior and interior of the building to keep the property in working order.

(s) Description of potential adverse impacts to neighboring properties or public facilities and measures to be taken to eliminate or minimize such adverse impacts.

We do not anticipate any potentially adverse impacts to neighboring properties or public facilities.

(t) A list of all local, county, state and federal permits or approvals required for the project or activity giving rise to the need for site and operational plan approval and copies of such permits and approvals that have been obtained.

Site and Operation Plan and Condition Use Zoning Approval

Building Approval including Architectural, Structural, Mechanical, Electrical, Plumbing, Fire Alarm, Fire Protection State Approved Plans

(2) Operational plan standards. In addition to any other applicable requirements or standards specified in this chapter, the following requirements or standards shall apply to the operational plan:

(a) No use shall be conducted in such a way as to constitute a public or private nuisance.

We agree that no use shall be conducted in such a way as to constitute a public or private nuisance.

(b) No use shall be conducted in such a way as to violate any of the performance standards set out in § 420-38 of this chapter.

We agree that no use shall be conducted in such a way as to violate any of the performance standards set out in § 420-38 of this chapter.

(c) (reserved)

(d) No owner, occupant or user of real property shall conduct a use so intensively that there is inadequate provision of on-site parking spaces and/or loading spaces to accommodate the needs of such use.

We agree to not conduct a use so intensively that there is inadequate provision of on-site parking spaces and/or loading spaces to accommodate the needs of such use.

(e) All buildings, structures, site improvements and sites shall be maintained in a safe, structurally sound, neat, well cared for and attractive condition.

We agree that all buildings, structures, site improvements and sites shall be maintained in a safe, structurally sound, neat, well cared for and attractive condition.

(f) Within a building, any provision of live entertainment in connection with a business or club use involving the selling or service of alcoholic beverages shall comply with the following restrictions:

[1] Live entertainment shall be provided only on a raised platform that is not less than 23 inches higher than the elevation of the surrounding floor surfaces where customers, members or their guests are sitting, standing or dancing;

We agree that live entertainment shall be provided only on a raised platform that is not less than 23 inches higher than the elevation of the surrounding floor surfaces where customers, members or their guests are sitting, standing or dancing.

[2] Customers, members or their guests shall at all times be separated from the raised platform on which live entertainment is being provided by a distance of not less than four feet and a physical barrier to mark and enforce such separation distance; and

We agree that all customers, members or their guests shall at all times be separated from the raised platform on which live entertainment is being provided by a distance of not less than four feet and a physical barrier to mark and enforce such separation distance.

[3] There shall be no touching of any kind between entertainers and customers, members or their guests.

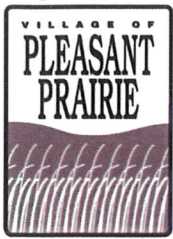
We agree that there shall be no touching of any kind between entertainers and customers, members or their guests.

(g) No proposed new or expanded use shall be permitted to create or significantly exacerbate unsafe traffic conditions on any street or highway in the Village.

We agree that no proposed new or expanded use shall be permitted to create or significantly exacerbate unsafe traffic conditions on any street or highway in the Village.

(h) Indoor pyrotechnic displays are prohibited.

We agree that indoor pyrotechnic displays are prohibited.



RECEIVED
JUL 25 2014
Village of Pleasant Prairie

PHOTOGRAPHS



Northeast building entry looking Southwest



East face building entry looking West (View of Building from 88th Avenue)



**Southeast corner of building; camera looking northwest
(Loading dock area and dumpster screen)**



**Eastern face of South Elevation; camera looking North
(Loading dock area and dumpster screen)**



**Southwest corner of building; camera looking northeast
(View from Fair Oaks Farms)**



Northwest corner of building; camera looking southeast



Return to: Katrina Karow
Kenosha Water Utility
4401 Green Bay Road
Kenosha, WI 53144
Email: kkarow@kenosha.org

Date Sent: 7/28/14

Date Due: _____

VILLAGE OF PLEASANT PRAIRIE
INDUSTRIAL WASTE SURVEY

To be submitted to the
Kenosha Water Utility

General Information

- 1. Facility Name: GOOD FOODS GROUP
- 2. Mailing Address: 10100 88th AVENUE
- 3. City, State, Zip Code: PLEASANT PRAIRIE, WI 53158
- 4. Site Address: 10100 88th AVENUE
- 5. Standard Industrial Classification Code (SIC): 2000

6. Name, Title and Telephone Number of the Authorized Representative and the Company Contact Person Responsible for Environmental Compliance.

Authorized Representative
 Name: JOHN W. FITZGERALD
 Title: PRESIDENT
 Phone #: 262-465-6900

Company Contact
 Name: CHARLES HERTZL
 Title: OPERATIONS MANAGER
 Phone #: 262-465-6900

The authorized representative must be a president, secretary, treasurer, or vice-president of the corporation in charge of a principle business function, or general partner or proprietor, or an individual designated by the aforementioned corporate official. The designated individual must meet the following criteria: (1) the person must be responsible for the overall operation of the facilities from which discharges originate, (2) the person is authorized in writing, and (3) the written authorization is submitted to the POTW.

7. List All Environmental Control Permits Held by or for the Facility.

N/A.

Operational Characteristics

- 1. Existing Number of Employees: Full Time 150 Part Time _____
- 2. Operational Schedule: Days/Wk 6 Hours/Day 19 # Shifts 2
- 3. Describe the nature of the business conducted at this facility (if more than one type ,of business or manufacturing takes place, list all activities): ALL NATURAL FOOD MANUFACTURES OF PRESERVATIONS FREE DIPS, SIDES, AND SALADS.
- 4. List principal raw materials used: GREEK YOGURT, IQF SPINZCH, RAW AVOCADOS, IQF KALE, CANNED TOMATOES, DELI CUPS, CARDBOARD BOXES, IQF CHESTNUTS, RAW CELERY, AND GARBANZO BEANS.
- 5. List products produced and the average rate of production: PRODUCTS PRODUCED ARE SPINZCH DIP, GUACAMOLE, HUMMAS, AND JUJCE
- 6. List types of wastes created during production and any by-products produced: SOLID WASTE: SPENT FOOD PRODUCT SUCH AS AVOCADO SKINS/PITS. LIQUID WASTE: WASH DOWN WATER WITH LOW CONCENTRATIONS OF RAW MATERIALS.
- 7. Estimate the quantity of water to be used by the facility during a six month period. Record the gallons of water anticipated by this facility. 8,280,000 gallons.
Indicate the source of the facility's water: Kenosha _____ Pleasant Prairie X
Meter number or address assigned to water meter(s). 10100 88th AVENUE, PLEASANT PRAIRIE, WI 53158
- 8. Type of discharges: Continuous _____ Batch X
If batch was indicated, give the average frequency and approximate volume of any batch discharges: ONCE A DAY FOR WASH DOWN
- 9. Describe the uses of water at this facility: WATER IS USED FOR DRAIN WASH DOWN OF PRODUCTION AREAS

Wastewater Information

- 1. A process wastewater IS any wastewater discharged other than for sanitary, non-contact cooling or boiler blow-down purposes. List activities which generate a process wastewater and the time and duration of each discharge.

Wastewater Producing Process	Time and Duration of Discharges
<u>DAILY WASHDOWN</u>	<u>12AM - 4AM, ONCE A DAY.</u>
_____	_____
_____	_____
_____	_____

2. For each process wastewater stream list all the materials and pollutants which to believe may be present in the discharge.

WASH DOWN COULD HAVE LOW CONCENTRATIONS OF RAW MATERIALS.
THE BUILDING CURRENTLY HAS A TRIPLE CATCH BASIN INCLUDED TO
REMOVE FATS/OILS/GREASE PRIOR TO ENTRY IN PUBLIC WASTE WATER
SYSTEM.

3. Contact cooling water is cooling water that during the process comes into contact with process material, thereby becoming contaminated. Non-contact cooling water does not come into contact with process materials. Does this facility utilize cooling water?

4. Water volume used and discharged to sanitary sewer. A review of previous water usage bills may be helpful in assigning values to the following flows. If sanitary flow is not metered, provide an estimate based on 20 gallons per day for each employee (i.e. water balance).

	Gallons per Day		Type of Wastewater Discharge (Continuous, Batch, None)
	Consumed	Discharges	
Sanitary Usage	<u>3,000</u>	<u>3,000</u>	<u>Continuous</u>
Process Wastewater Usage	<u>92,000</u>	<u>92,000</u>	<u>Batch</u>
Cooling Water Usage	_____	_____	_____
Other Usage	_____	_____	_____
Total Volume	_____	_____	_____

5. Describe all locations where wastewaters enter the collection system _____

SANITARY CONNECTION AND PROCESS CONNECTION THROUGH GREASE
TRAP.

6. Is there a sampling manhole on site? No _____ Yes X

If yes, describe the locations: SAMPLING MANHOLE LOCATED AT EAST
PROPERTY LINE

7. Are sanitary and process wastewaters separated? No _____ Yes X

8. Is boiler blowdown water discharged to the sanitary sewer? No X Yes _____

9. Does your facility haul any process wastewater? No X Yes _____

Compliance Information

1. Is there any usage of toxic compounds at the facility? No X Yes _____

If yes, list and use check list on last page.

2. Are there any floor drains in the manufacturing or chemical storage area? No _____ Yes X

3. Is there a Spill Prevention Control and Countermeasure Plan in effect for this facility?

No X Yes _____ If yes, describe procedure: _____

5. Is any form of waste water pretreatment practiced at this facility? No _____ Yes X

If yes, describe: EXISTING FACILITY CURRENTLY HAS A TRAPLE CATCH
BASEN INSTALLED TO REMOVE FATS/OILS/GREASE PRIOR TO ENTRY
IN PUBLIC WASTE WATER SYSTEM.

6. List any specific pretreatment standards that apply to this facility: N/A

7. If pretreatment standards are not being met on a consistent basis, describe what additional and maintenance or pretreatment must be performed to achieve compliance.

N/A

8. State the estimated timetable (compliance schedule) for the implementation of additional operations and maintenance or for the commencement and completion of major events leading to the construction and operation of the pretreatment facilities required to achieve compliance.

N/A - GREASE TRAP INSTALLED ON EXISTING BUILDING.

Submissions

Include a schematic (print) of the facility that shows the water intake points(s), existing sanitary sewer, discharge points (connection(s) to sanitary collection system), and direction of wastewater flows at the facility. Provide a diagram of water flow through any processes that use water for any purpose.

Signatory Requirement

I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gather and evaluate this information submitted. Based on my inquiry of the person or persons directly responsible for gathering the information, the information submitted is to the best of my knowledge and belief true, accurate and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment.

Kurt B. Penn

Print Name: Authorized Representative

CEO

Title

[Signature]

Signature: Authorized Representative

7.24.14

Date

Appendix
Toxic Pollutants Listed in 40CFR 307(a)

Known Absent	Suspected Present	Known Present	Pollutant
			1 Acenaphthene
			2 Acrolein
			3 Acrylonitrile
			4 Aldrin/Dieldrin
			5 Antimony and compounds
			6 Arsenic and compounds
			7 Asbestos
			8 Benzene
			9 Benzidine
			10 Beryllium and compounds
			11 Cadmium and compounds
			12 Carbon tetrachloride
			13 Chlordane
			14 Chlorinated benzenes
			15 Chlorinated ethanes
			16 Chlorinalkyl ethers
			17 Chlorinated naphthalene
			18 Chlorinated phenols
			19 Chlorofoffil
			20 2-chlorophenol
			21 Chromium and compounds
			22 Copper and compounds
			23 Cyanides
			24 DDT and metabolites
			25 Dichlorobenzenes
			26 Dichlorobenzidine
			27 Dichloroethylenes
			28 2,4-dichlorophenol
			29 Dichloropropane & Dichloropropene
			30 2,4-dimethylphenol
			31 Dinitrotoluene
			32 Diphenylhydrazine
			33 Endosulfan and metabolites

Known Absent	Suspected Present	Known Present	Pollutant
			34 Endrin and metabolites
			35 Ethylbenzene
			36 Fluoranthene
			37 Haloethers
			38 Halomethanes
			39 Heptachlor and metabolites
			40 Hexachlorobutadiene
			41 Hexachlorocyclopentadiene
			42 Hexachlorocyclohexane
			43 Isophrone
			44 Lead and compounds
			45 Mercury and compounds
			46 Naphthalene
			47 Nickel and compounds
			48 Nitrobenzene
			49 Nitrophenols
			50 Nitrosamines
			51 Pentachlorophenol
			52 Phenol
			53 Phthalate esters
			54 Polychlorinated biphenyls (PCBs)
			55 Polynuclear aromatic hydrocarbon
			56 Selenium and compounds'
			57 Silver and compounds
			58 2,3,7,8-Tetrachlorodibenzo- p-dioxin (TCDD)
			59 Tetrachloroethylene
			60 Thallium and compounds
			61 Toluene
			62 Toxaphene
			63 Trichloroethylene
			64 Vinyl chloride
			65 Zinc and compounds

X NONE OF THESE SUBSTANCES LISTED ABOVE ARE INTRODUCED IN THE FOOD PRODUCTION PROCESS; THEREFORE, WE HAVE NO REASON TO BELIEVE THESE WILL BE BY PRODUCTS OF THE SITE.

ABBREVIATIONS LEGEND

AFF	ABOVE FINISHED FLOOR	HM	HOLLOW METAL
ACOU	ACOUSTICAL	IMP	INSULATED METAL PANEL
ADJ	ADJACENT	IN	INCH
ALUM	ALUMINUM	INT	INTERIOR
ALT	ALTERNATE	JAN	JANITOR
APPR	APPROVE, APPROVED	MAINT	MAINTENANCE
APPROX	APPROXIMATE	MATL	MATERIAL
ARCH	ARCHITECT, ARCHITECTURAL	MAX	MAXIMUM
AE	ARCHITECT/ENGINEER	MECH	MECHANIC, MECHANICAL
AVG	AVERAGE	MTL	METAL
BD	BOARD	MEZZ	MEZZANINE
BLVD	BOULEVARD	MIN	MINIMUM
BLKG	BLOCKING	MISC	MISCELLANEOUS
BLDG	BUILDING	MTD	MOUNTED
BMD	BOTTOM OF METAL DECK	N/A	NOT APPLICABLE
CFT	CARPET	NTS	NOT TO SCALE
CLG	CEILING	OC	ON CENTER
CT	CERAMIC TILE	OPP	OPPOSITE
COL	COLUMN	OH	OVERHEAD
CONC	CONCRETE	PLAM	PLASTIC LAMINATE
CMU	CONCRETE MASONRY UNIT	PLBG	PLUMBING
CONT	CONTINUOUS, CONTINUE	PREFAB	PREFABRICATE, PREFABRICATED
CJ	CONTROL JOINT, CONSTRUCTION JOINT	PREFIN	PREFINISH, PREFINISHED
CORR	CORRIDOR	PT	PRESSURE TREATED
DTL	DETAIL	QTY	QUANTITY
DIM	DIMENSION	REF	REFERENCE
DR	DOOR	REINF	REINFORCE, REINFORCED,
DN	DOWN	REQ'D	REINFORCING REQUIRED
DS	DOWNSPOUT	RD	ROOF DRAIN
DWG	DRAWING	SCH	SCHEDULE
ELEC	ELECTRIC, ELECTRICAL	SIM	SIMILAR
ELEV	ELEVATION	SHT	SHEET
EMER	EMERGENCY	SC	SOLID CORE
EQ	EQUAL	STC	SOUND TRANSMISSION COEFFICIENT
EQUIP	EQUIPMENT	SPEC	SPECIFICATION
EXIST	EXISTING	SF	SQUARE FOOT, SQUARE FEET
EJ	EXPANSION JOINT	SS	STAINLESS STEEL
EXT	EXTERIOR	STD	STANDARD
EIFS	EXTERIOR INSULATION FINISH SYSTEM	STL	STEEL
FIN	FINISH, FINISHED	STR	STRUCTURE, STRUCTURAL
FE	FIRE EXTINGUISHER	TEMP	TEMPORARY
FEC	FIRE EXTINGUISHER CABINET	TH	THICK, THICKNESS
FL	FLOOR, FLOORING	TYP	TYPICAL
FT	FEET, FOOT	UNO	UNLESS NOTED OTHERWISE
FTG	FOOTING	VERT	VERTICAL
GA	GAGE, GAUGE	VEST	VESTIBULE
GALV	GALVANIZED	VCT	VINYL COMPOSITION TILE
GC	GENERAL CONTRACTOR	WVC	VINYL WALL COVERING
GL	GLASS, GLAZING	WH	WATER HEATER
GYP	GYPSON	W	WITH
HT	HEIGHT	W/O	WITHOUT
		WD	WOOD

BEST MANAGEMENT PRACTICES

THE CONTRACTOR/OWNER SHALL IMPLEMENT BEST MANAGEMENT PRACTICES AS FOLLOWS:

SOLID WASTE MANAGEMENT :
PROVIDE DESIGNATED WASTE COLLECTION AREAS AND CONTAINERS. CLEAR SITE OF TRASH.

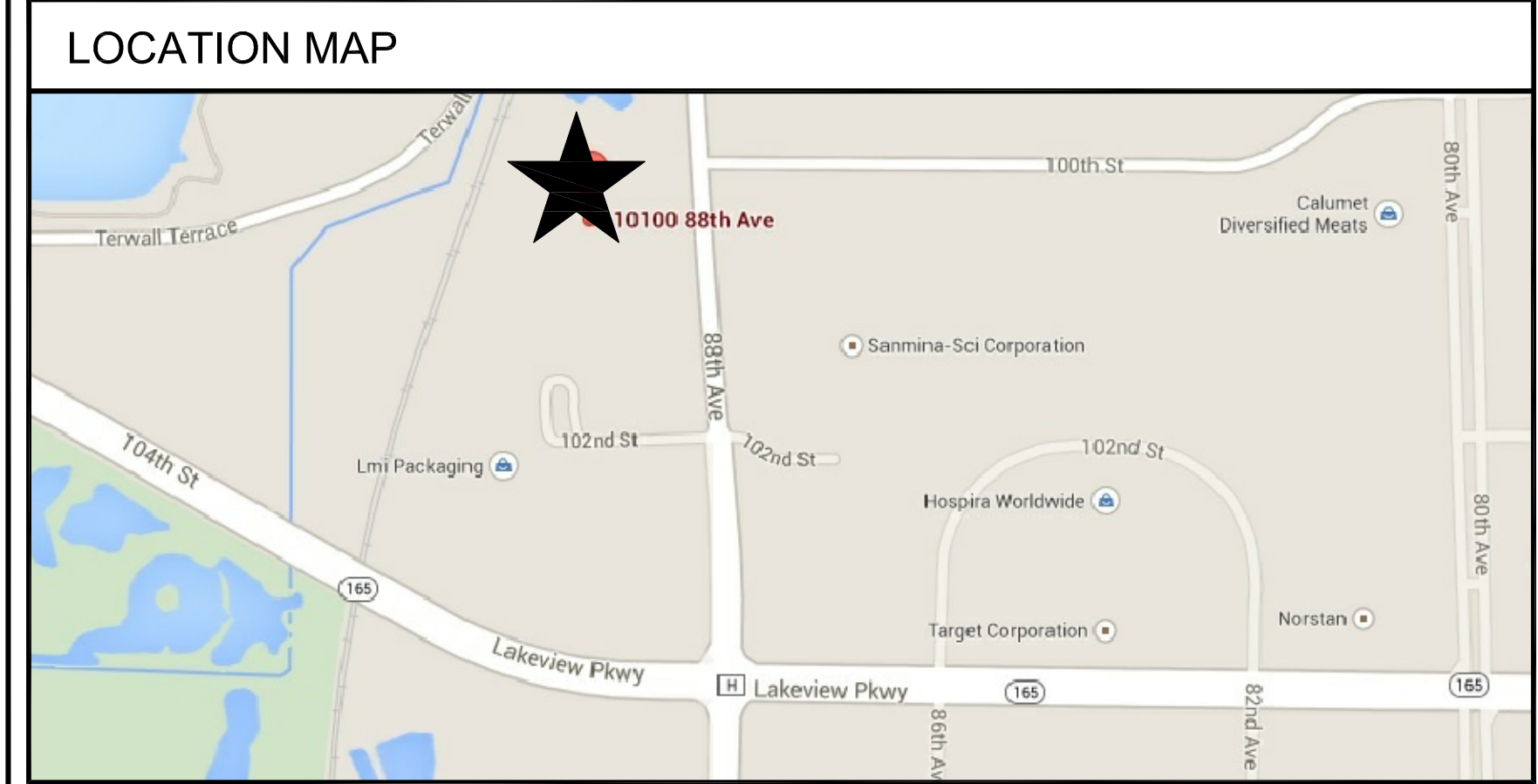
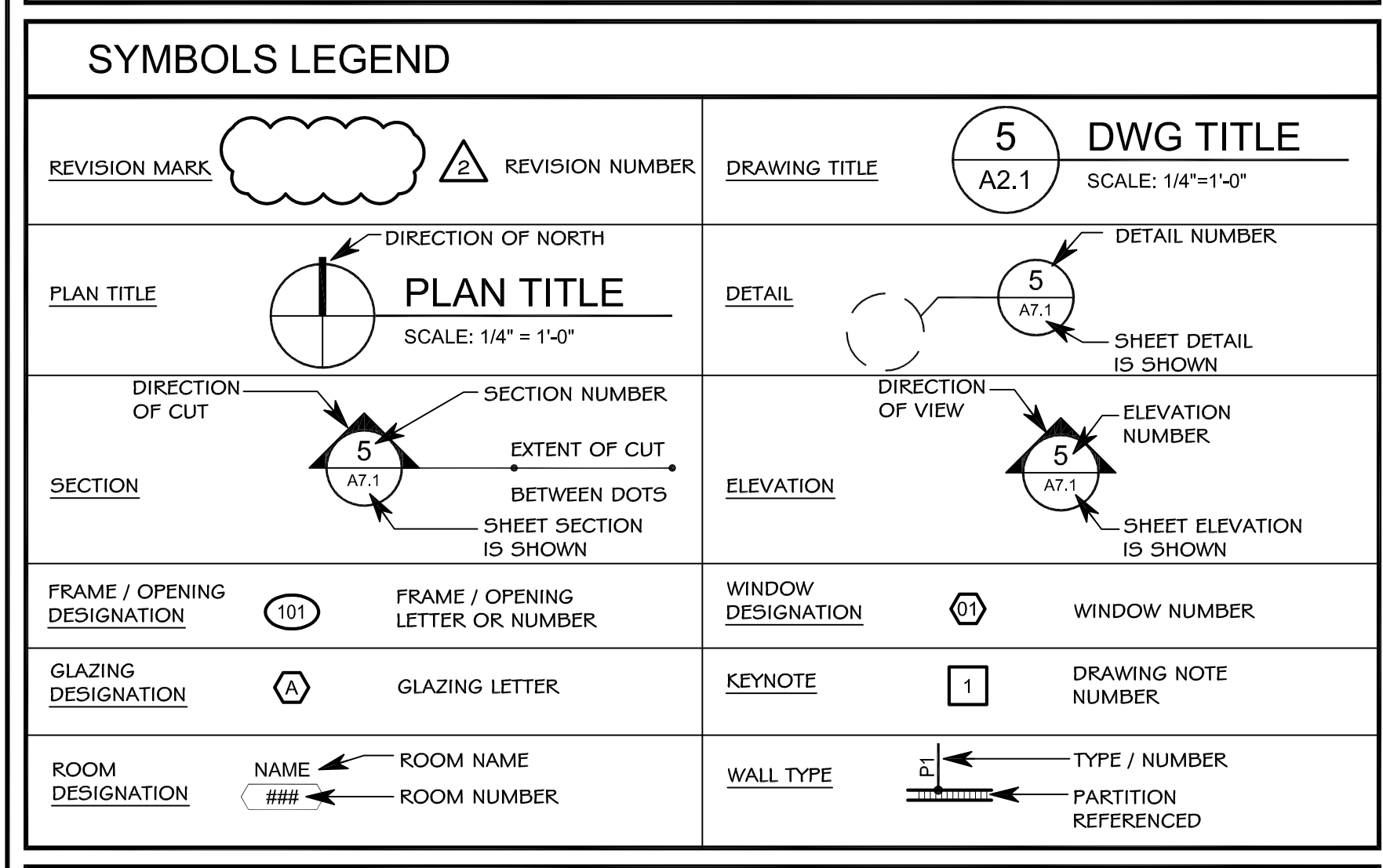
MATERIAL DELIVERY AND STORAGE :
PROVIDE A DESIGNATED MATERIAL STORAGE AREA; IF NEEDED, PROVIDE A SECOND CONTAINER.

CONCRETE WASTE :
PROVIDE A DESIGNATED AREA TO BE USED FOR CONCRETE TRUCK WASH-OUT IF NEEDED. AT NO TIME SHALL RUN-OFF ENTER THE STORM DRAINS.

PAINT & PAINTING SUPPLIES
PROVIDE PROPER STORAGE, USE AND CLEANUP OF MATERIALS.

VEHICLE FUELING, MAINT. AND CLEANING :
PROVIDE A DESIGNATED FUELING AREA WITH A SECOND CONTAINER.

HAZARDOUS WASTE MANAGEMENT:
PREVENT THE DISCHARGE OF HAZARDOUS WASTE POLLUTANTS INTO THE STORM DRAIN SYSTEM.



PROJECT DATA

PROJECT DESCRIPTION

39,166 SQ.FT. FULLY SPRINKLERED ADDITION (W/2,995 SQ.FT. MEZZANINE NOT-INCLUDED IN TOTAL) TO AN EXISTING 56,334 SQ.FT. FULLY SPRINKLERED BUILDING OF TYPE 2B CONSTRUCTION WITH F-1, S-1 & B-(EXISTING) USE GROUPS.

BUILDING CODE INFORMATION

BUILDING CODE:	IBC 2009 (W/ COMMERCIAL BUILDING CODE)
ELECTRICAL CODE:	NEC 2008 (W/ COMMERCIAL BUILDING CODE)
PLUMBING CODE:	WISCONSIN COMMERCIAL BUILDING CODE
MECHANICAL CODE:	IMC 2009 (W/ COMMERCIAL BUILDING CODE)
LIFE SAFETY CODE:	2009 NFPA-1 (W/ COMMERCIAL BUILDING CODE)
FIRE CODE:	2009 NFPA-1 (W/ COMMERCIAL BUILDING CODE)
ACCESSIBILITY:	ADA STANDARDS (W/ COMMERCIAL BUILDING CODE)
ENERGY CODE:	IECC 2009 (W/ COMMERCIAL BUILDING CODE)

PROJECT CODE DATA

USE GROUPS - CHAPTER 3, SECTION 306 & 311

SEPARATION: NONE REQUIRED - NON-SEPARATED MIXED USE DESIGN OPTION PER SECTION 506.3.2

USE GROUPS: F-1 (MODERATE HAZARD FACTORY) S-1 (MODERATE HAZARD STORAGE)

ALLOWABLE AREA - CHAPTER 5, TABLE 503

ALLOWABLE AREA:	15,500 SQ.FT.
ALLOWABLE AREA CALC (WHERE APPLICABLE)	
BASE ALLOWABLE AREA :	15,500 SQ.FT. (PER TABLE 503)
SPRINKLER INCREASE :	46,500 SQ.FT. (300% PER SECTION 506.3)
FRONTAGE INCREASE :	7,750 SQ.FT. (150% PER SECTION 506.2)
TOTAL ALLOWABLE AREA:	69,750 SQ.FT.
ACTUAL AREA CALC	
PRIMARY USE GROUP - F-1:	F-1
SECONDARY USE GROUP - S-1:	S-1
TOTAL ACTUAL AREA:	39,166 SQ.FT. (EXPANSION) 56,334 SQ.FT. (EXISTING) 95,500 SQ.FT. TOTAL

ALLOWABLE HEIGHT - CHAPTER 5, TABLE 503

ALLOWABLE BUILDING HEIGHT:	55'-0"
ACTUAL BUILDING HEIGHT:	35'-10"

CONSTRUCTION TYPE - CHAPTER 6, TABLE 601

PROPOSED:	TYPE IIB
STRUCTURAL FRAME :	0 HOURS
BEARING WALLS (EXTERIOR) :	0 HOURS
BEARING WALLS (INTERIOR) :	0 HOURS
NON-BEARING WALLS :	0 HOURS
FLOOR CONSTRUCTION :	0 HOURS
ROOF CONSTRUCTION :	0 HOURS

FIRE PROTECTION SYSTEM - CHAPTER 9

SPRINKLER SYSTEM - TO BE PROVIDED PER SECTION 903

FIRE EXTINGUISHERS - TO BE PROVIDED PER SECTION 906

DETECTION SYSTEM - TO BE PROVIDED PER SECTION 907

OCCUPANT LOADS - CHAPTER 10, TABLE 1004.1.2

USE GROUP	RATIO	USE GROUP SF	OCCUPANT LOAD
F-1	1/100 SQ.FT.	19,320 SQ.FT.	194 PERSONS
S-1	1/500 SQ.FT.	19,846 SQ.FT.	40 PERSONS
TOTAL OCCUPANCY :			234 PERSONS

EGRESS DATA - CHAPTER 10

REQUIRED DOOR WIDTH : 234 X 0.15" = 35.1"

PROVIDED DOOR WIDTH : 8 EXITS X 36" EA = 288"

REQUIRED STAIR WIDTH : 1 X 0.2" = 0.2"

PROVIDED STAIR WIDTH : 1 EXIT X 44" EA = 44"

COMMON PATH OF TRAVEL REQUIREMENT : 100'

MAXIMUM TRAVEL DISTANCE : 250' FEET (F-1 OCCUPANCY)

MAXIMUM TRAVEL DISTANCE : 250' FEET (S-1 OCCUPANCY)

PLUMBING SYSTEMS - CHAPTER 29, TABLE 2902.1

	WATER CLOSETS	LAVATORIES	DRINKING FOUNTAINS	SERVICE SINKS
CLASSIFICATION: F-1 OCCUPANTS: 194	MEN - 97 1 PER 100 = 1	1 PER 100 = 1	1 PER 400 = 1	1
CLASSIFICATION: S-1 OCCUPANTS: 40	MEN - 20 1 PER 100 = 1	1 PER 100 = 1	1 PER 1000 = 1	1
SUBTOTALS	MEN 2	2	1	2
REQUIRED TOTALS	MEN 2	2	1	1
TOTAL PROVIDED	MEN 8 (4 WC & 4 URINAL)	5	2	1

PROJECT FOR:

10100 88TH AVENUE PLEASANT PRAIRIE, WI 53518

LIST OF DRAWINGS

SHEET #	DESCRIPTION
T1.1	COVER SHEET
CIVIL	
C1	EXISTING SITE SURVEY
C2	NOTES & DETAILS
C3	GRADING/EROSION CONTROL PLAN
C4	UTILITY PLAN
C5	LANDSCAPE PLAN
MECHANICAL	
M1.1	MECHANICAL PLAN
M2.1	MECHANICAL SCHEDULES & DETAILS
FIRE PROTECTION AND ALARM	
F1.1	XXX
F2.1	XXX
F3.1	XXX
ARCHITECTURAL	
A1.1	OVERALL LIFE SAFETY PLAN
D1.1	OVERALL DEMOLITION PLAN
A2.1	OVERALL FLOOR PLAN
A2.2	ENLARGED FLOOR PLANS
A2.3	WALL DETAILS
A2.4	TILT DETAILS
A2.5	OVERALL ROOF PLAN
A2.6	ROOF DETAILS
A4.1	DOOR SCHEDULE
A4.2	DOOR DETAILS
A5.1	EXTERIOR ELEVATIONS
A6.1	WALL SECTIONS
A6.2	WALL SECTIONS
A6.3	WALL SECTIONS
A7.1	SECTION DETAILS
A8.1	STAIR DETAILS
PLUMBING	
PD1	UNDERGROUND PLUMBING DEMOLITION PLAN
PD2	ABOVE GRADE PLUMBING DEMOLITION PLAN
P1	UNDERGROUND PLUMBING PLAN
P2	ABOVE GRADE PLUMBING PLAN
P3	PLUMBING SYMBOLS, NOTES, SPECS SCHEDULES & DETAILS
P4	PLUMBING DIAGRAMS
DEFERRED SUBMITTALS	
ELECTRICAL	
E1	ELECTRICAL DEMOLITION POWER PLAN
E2	ELECTRICAL POWER PLAN
E3	FIRE ALARM PLAN
E4	ELECTRICAL LIGHTING PLAN
E5	ELECTRICAL RISER DIAGRAM
E6	ELECTRICAL PANEL SCHEDULES
E7	ELECTRICAL SPECIFICATIONS, DETAILS & NOTES
E8	ELECTRICAL SITE PLAN

REFRIGERATION:
COOLING EQUIPMENT SERVICES
141 GARLICK DRIVE
E4, GROVEVIEW DRIVE
WINGFOURREPAIR.COM

CONSULTING ENGINEERS:
SEHAGASY ASSOCIATES
3535 MADISON CENTER DRIVE
MADISON, WI 53711
MCNEAL ENGINEERING
11457 OLDE CARM ROAD, SUITE 300
PLEASANT PRAIRIE, WI 53158
BANCHEAL@BANCHEAL-ENG.COM
BANCHEAL@BANCHEAL-ENG.COM
W/1 MECHANICAL
HOFFMAN ESTATES, IL 60192
STEPHEN TRIPPAHN

CONTRACTOR:
ARCO MURRAY
3110 WOODCREEK DRIVE
DOWNERS GROVE, IL 60515
WWW.ARCOMURRAY.COM

ARCHITECT:
GMA
900 NORTH ROCK HILL ROAD
PLEASANT PRAIRIE, WISCONSIN
WWW.GMA-ARCHITECTS.COM

PROJECT:
GODFRODS GROUP
10100 88TH AVENUE
PLEASANT PRAIRIE, WI 53158

JOB NO : SJ1442
PA : ZUK
ISSUED FOR REVIEW-50% SET
DATE : 07.18.2014

REVISIONS

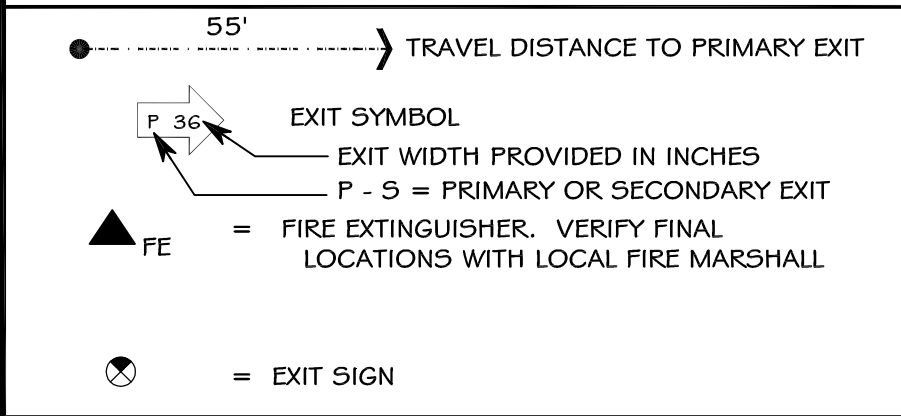
SHEET NUMBER
T1.1
TITLE SHEET

THIS DESIGN AND THESE DRAWINGS ARE THE PROPERTY OF GMA ARCHITECTS AND ENGINEERS. NO PARTS OF THIS DESIGN OR THESE DRAWINGS ARE TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM.

SIGNAGE KEYNOTES

- 1 TACTILE EXIT SIGN: "EXIT".
- 2 TACTILE EXIT SIGN: "EXIT ROUTE".
- 3 SHADED AREA NOT IN SCOPE OF WORK
- 4 SHADED AREA SHOWS MEZZANINE ABOVE
- 5 TACTILE EXIT SIGNS: "EXIT STAIR DOWN" AND "AREA OF REFUGE".

LIFE SAFETY LEGEND



LAVATORY DOOR AND WALL SIGNS

DOOR SIGN

A. DOORWAYS LEADING TO MEN'S RESTROOMS SHALL BE IDENTIFIED BY AN EQUILATERAL TRIANGLE WITH EDGES 12 INCH LONG AND A VERTEX POINTING UPWARD.

DOORWAYS LEADING TO WOMEN'S RESTROOMS SHALL BE IDENTIFIED BY A CIRCLE 12 INCHES IN DIAMETER.

B. BACKGROUND COLOR: BLUE FIGURES: WHITE (COLOR TO BE NON-GLARE FINISH).

C. MOUNTING HEIGHT: CENTER OF SIGN TO BE 5 FEET ABOVE THE FLOOR ON DOOR.

D. MOUNTING METHOD: DOUBLE STICK FOAM TAPE, SCOTCH BRAND 3M.

E. THICKNESS: 1/4 INCH.

F. FABRICATION METHOD: PLEXIGLAS SIGN WITH SUBSURFACE GRAPHICS AND BACK SPRAYED.

G. APPLICABLE CODES: - ADA SECTION 4.30.4

WALL SIGN

A. 1/32in. RAISED SANS-SERIF UPPERCASE CHARACTERS ACCOMPANIED BY GRADE 2 BRAILLE. CHARACTERS MIN. 5/8in. HIGH.

B. COLOR: BACKGROUND: BLUE TYPE/FIGURE: WHITE (COLORS TO BE NON-GLARE FINISH)

C. MOUNTING HEIGHT: CENTER OF SIGN TO BE 5 FEET ABOVE THE FLOOR ON THE WALL - LATCH SIDE

D. MOUNTING METHOD: DOUBLE STICK FOAM TAPE, SCOTCH BRAND 3M

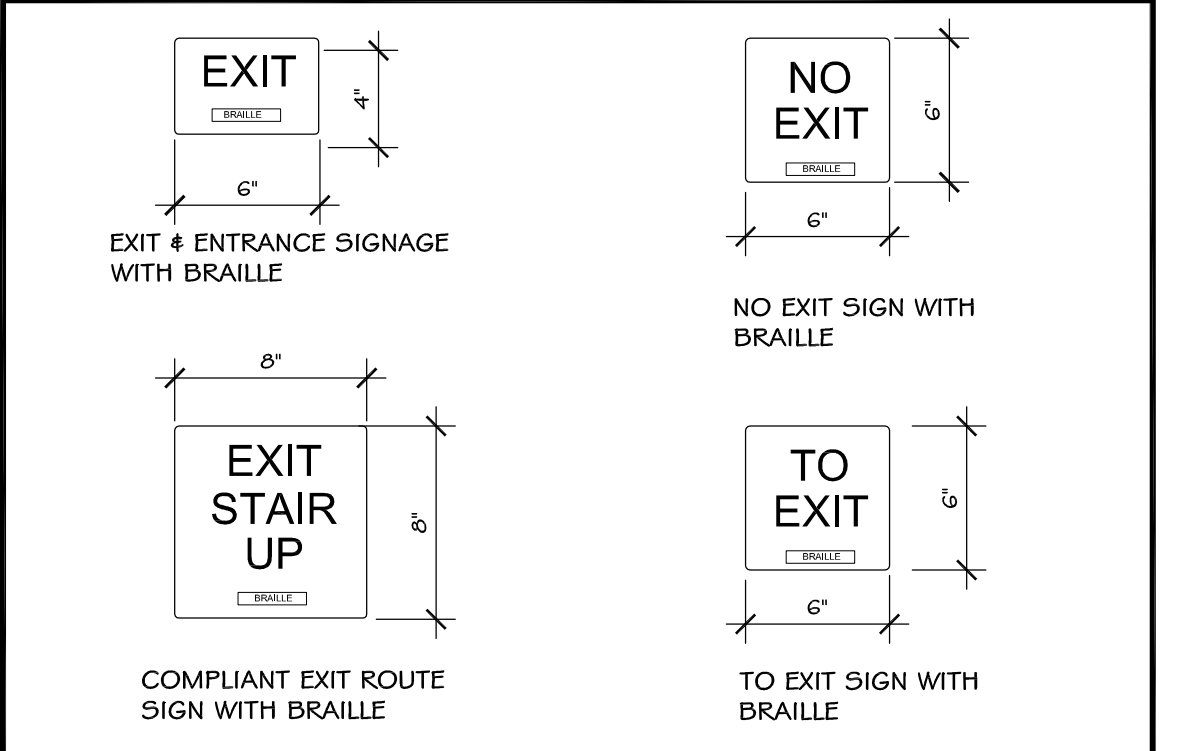
E. THICKNESS: 1/4 INCH

F. FABRICATION METHOD: PLEXIGLAS SIGN WITH SURFACE GRAPHICS AND BACK SPRAYED

G. APPLICABLE CODES: ADA SECTION 4.1.2, 4.30.4, 4.30.5, 4.30.6

EASED EDGES, TYPICAL

EGRESS WALL SIGNS



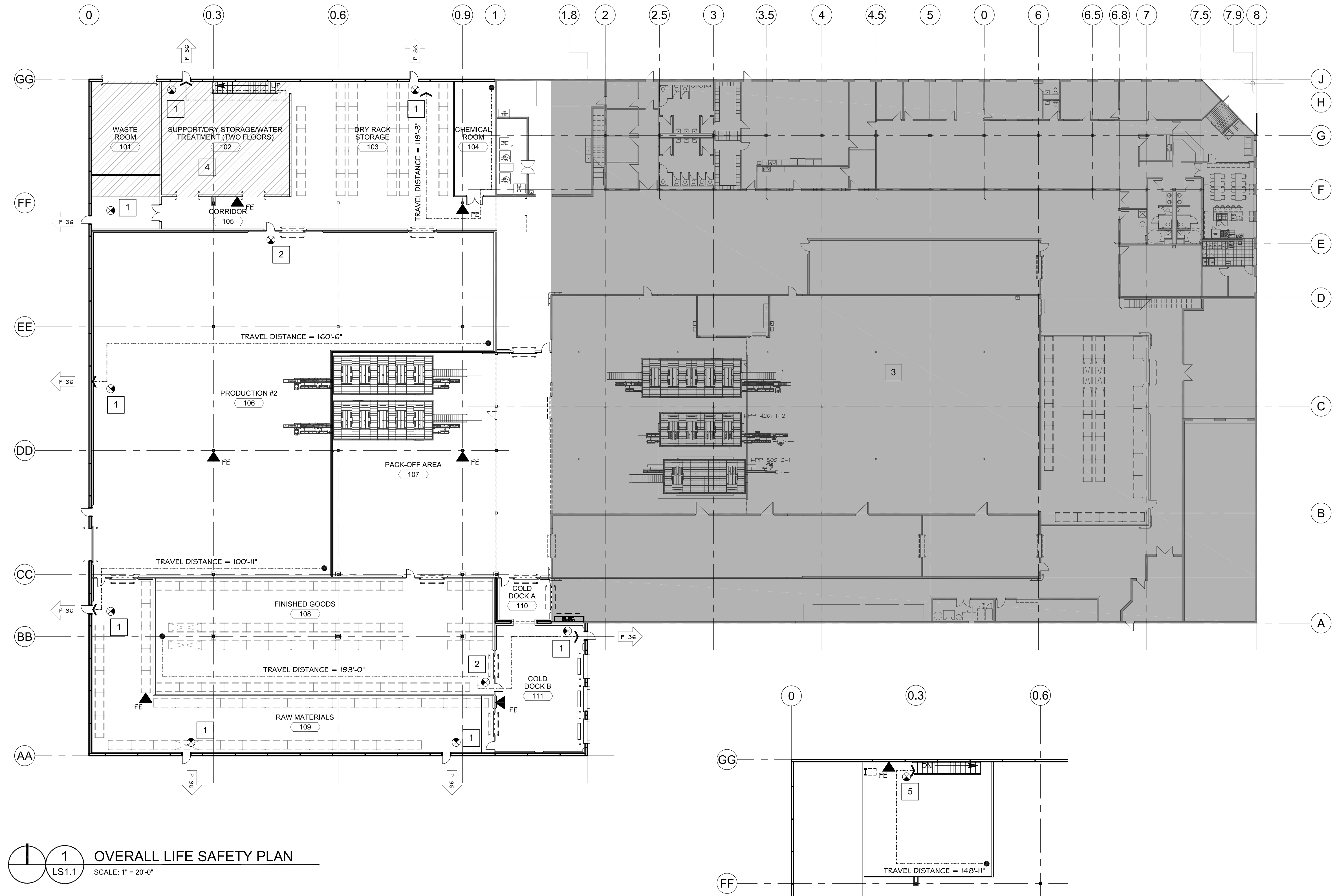
OTHER WALL SIGNS

NOTE 1: THE INTERNATIONAL SYMBOL OF ACCESSIBILITY SHALL BE THE STANDARD USED TO IDENTIFY FACILITIES THAT ARE ACCESSIBLE TO AND USABLE BY PHYSICALLY DISABLED PERSONS AS SET FORTH IN THE AMERICAN WITH DISABILITIES ACT (ADA).

NOTE 2: WHERE PERMANENT IDENTIFICATION IS PROVIDED FOR ROOMS AND SPACES, SIGNS SHALL BE INSTALLED ON THE WALL ADJACENT TO THE LATCH SIDE OF THE DOOR. WHERE THERE IS NO WALL SPACE TO THE LATCH SIDE OF THE DOOR, INCLUDING AT DOUBLE LEAF DOORS, SIGNS SHALL BE PLACED ON THE NEAREST ADJACENT WALL. MOUNTING HEIGHT SHALL BE 60" TO THE CENTERLINE OF THE SIGN ABOVE FINISHED FLOOR.

GENERAL NOTES

1. FINAL LAYOUT OF WAREHOUSE EXIT SIGNS & FIRE EXTINGUISHERS TO BE COORDINATED W/ LOCAL FIRE MARSHALL. FIRE EXTINGUISHERS IN COOLER & TO BE RATED FOR SETPOINT TEMPERATURE.
2. ALL EGRESS ILLUMINATION SHALL COMPLY WITH IBC 2009 SECTION 1006. THE MEANS OF EGRESS ILLUMINATION LEVEL SHALL NOT BE LESS THAN 1 FOOT-CANDLE AT THE WALKING SURFACE LEVEL. SEE ELEC. DWGS. FOR EGRESS ILLUMINATION COMPLIANCE.
3. PROVIDE TACTILE EXIT SIGNS IN COMPLIANCE W/ SECTION 1011 OF IBC 2009.
4. EXIT DOORS SHALL BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OF EFFORT.
5. ADDITIONAL EXIT SIGNS AND/OR EMERGENCY LIGHTING MAY BE REQUIRED, SUBJECT TO FIELD INSPECTION & DETERMINATION OF THE AUTHORITY HAVING JURISDICTION.



1 OVERALL LIFE SAFETY PLAN
LS1.1 SCALE: 1" = 20'-0"

2 MEZZANINE LIFE SAFETY PLAN
LS1.1 SCALE: 1" = 20'-0"

COOLING EQUIPMENT SERVICES
141 GARLICK DRIVE
ELY GROVE VILLAGE 60007
WWW.COOLINGSERVICES.COM

REFRIGERATION

CONSULTING ENGINEERS
SEHAGAR ASSOCIATES
3535 MADISON CENTER DRIVE
MADISON, IL 60518
WWW.SEAHAGAR.COM

STRUCTURAL:
MCNEAL YOUNG ENGINEERING
11457 OLDE CABIN ROAD, SUITE 300
BANKNEAL, ILLINOIS 60018
WWW.MCNEAL-YOUNG.COM

MECHANICAL:
WAT MECHANICAL
HOFFMAN ESTATES, IL 60142
WWW.WATMECHANICAL.COM

STEPHEN TRIPPIAN

CONTRACTOR
ARCO MURRAY
3110 WOODCREEK DRIVE
DOWNERS GROVE, IL 60515
WWW.ARCOMURRAY.COM

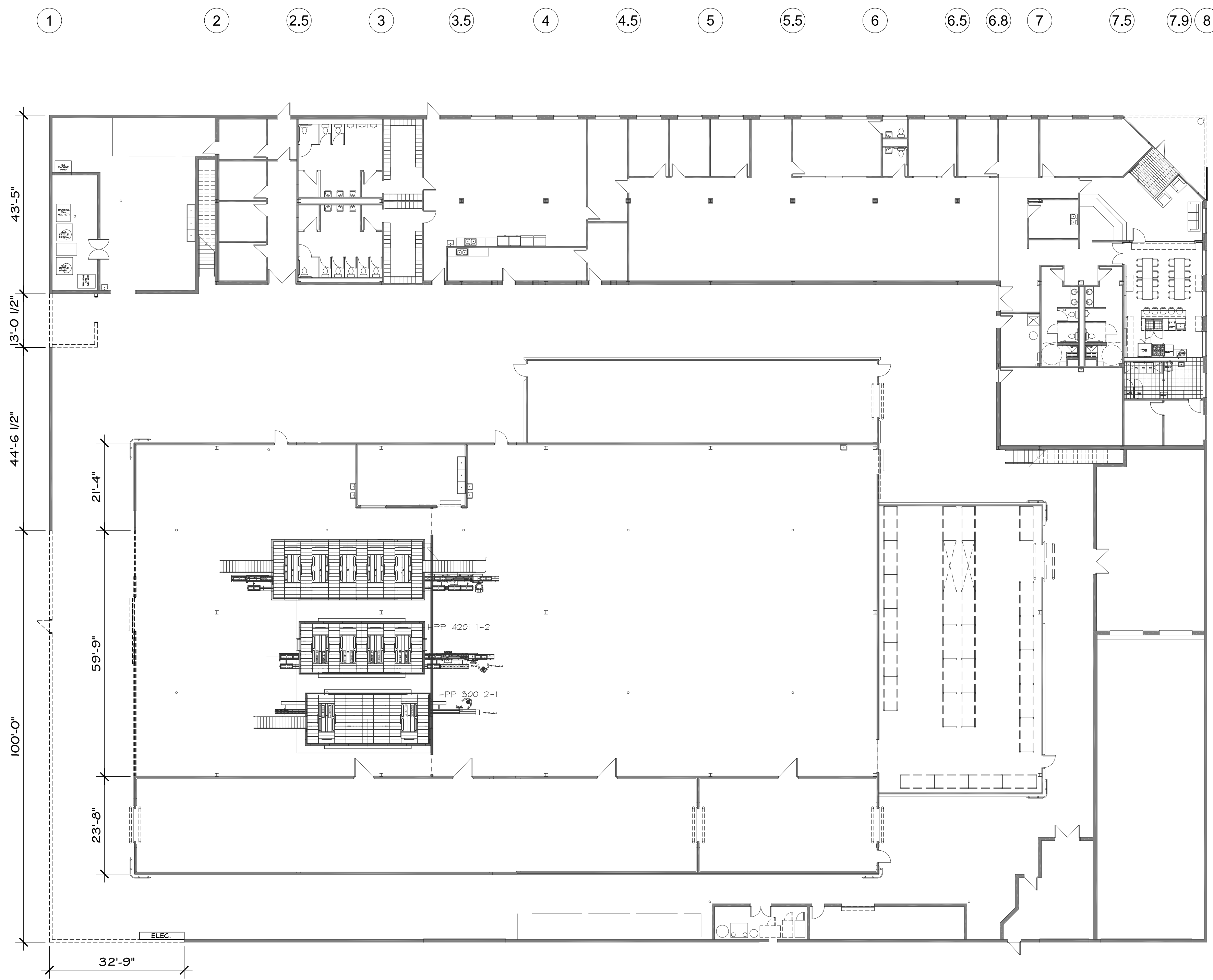
ARCHITECT
GMA
900 NORTH ROCK HILL ROAD
ST. LOUIS, MISSOURI 63105
WWW.GMA-ARCHITECTS.COM

PROJECT
GODFRODS GROUP
10100 88TH AVENUE
PLEASANT PRAIRIE, WI 53158

JOB NO : SJ1442
PA : ZUK
ISSUED FOR REVIEW-50% SET
DATE : 07.18.2014

REVISIONS

SHEET NUMBER
LS1.1
LIFE SAFETY PLAN



GENERAL DEMOLITION NOTES

1. SHADED AREA INDICATES AREAS NOT INCLUDED IN THE SCOPE OF WORK.
2. G.C. SHALL VERIFY THE EXISTING SITE CONDITIONS AND DIMENSIONS AS THEY ARE REFERENCED ON THESE DOCUMENTS AND NOTIFY THE ARCHITECT OF ANY CONFLICTS PRIOR TO COMMENCEMENT OF WORK.
3. REMOVE ALL DEMISING PARTITIONS AS NECESSARY IN ORDER TO ACCOMMODATE NEW LAYOUT.
4. THE G.C. SHALL TAKE PRECAUTIONS DURING THE DEMOLITION PHASE WHEN REMOVING ALL MATERIAL AND EQUIPMENT FROM THE BUILDING. THE OWNER AT THEIR DISCRETION MAY RETAIN OWNERSHIP OF ANY DEMOLITION MATERIAL. IF THE OWNER DECLINES OWNERSHIP, IT IS THE RIGHT/RESPONSIBILITY OF THE DEMOLITION SUBCONTRACTOR TO SAFELY AND PROPERLY DISPOSE OF ANY DEMO MATERIAL.
5. NOTIFY THE GENERAL CONTRACTOR WHEN COMPONENTS THAT MAY BE HAZARDOUS OR CONTAIN HAZARDOUS MATERIALS ARE DISCOVERED DURING DEMOLITION.
6. ALL EXISTING CONSTRUCTION TO REMAIN SHALL BE PATCHED, REPAIRED AND/OR REFINISHED TO MATCH ADJACENT OR LIKE-NEW CONSTRUCTION.
7. ANY VOIDS OR PENETRATIONS IN EXISTING CONSTRUCTION THAT ARE DISCOVERED OR CREATED DURING DEMOLITION SHALL BE PATCHED AND/OR FILED. PATCH FLOORING TO A SMOOTH TRANSITION.
8. THE DEMOLITION WORK IS NOT LIMITED TO ITEMS SPECIFICALLY NOTED FOR REMOVAL, BUT SHALL INCLUDE ITEMS RELATED TO AND NECESSARY FOR REMOVAL, SO AS TO PROVIDE A COMPLETED PROJECT. THIS INCLUDES ITEMS NOT SHOWN ON PLANS BUT WHOSE EXISTENCE ARE NORMAL AND STANDARD AS ASSOCIATED WITH THOSE ITEMS TO BE REMOVED.

DEMOLITION PLAN KEY NOTES

- 1 SAWCUT & REMOVE 2" WIDE BY SLAB DEPTH SECTION OF THE EXISTING CONC. SLAB TO PROVIDE THERMAL BREAK. - SEE DETAIL 7/A4.1
- 2 CORE EXISTING CONC. SLAB FOR GOAL POST INSTALLATION. SEE DETAIL II/A4.1.
- 3 REMOVE EXISTING CONC. CURB.
- 4 SAWCUT EXISTING CONC. SLAB FOR NEW FLOOR DRAINS. REFER TO PLUMBING DWGS FOR FINAL DRAIN LOCATIONS & EXTENT OF SAWCUT.

DEMOLITION PLAN LEGEND

- EXISTING PARTITION TO BE REMOVED
- EXISTING PARTITION TO REMAIN
- ⌵ EXISTING DOOR AND FRAME TO BE REMOVED
- ⌵ EXISTING DOOR TO REMAIN

ARCHITECT
GMA
 ARCHITECTS
 900 NORTH ROCK HILL ROAD
 SUITE 100
 PLEASANT PRAIRIE, IL 60155
 WWW.GMA-ARCHITECTS.COM

CONTRACTOR
ARCO MURRAY
 3110 WOODCREEK DRIVE
 DOWNERS GROVE, IL 60515
 WWW.ARCOMURRAY.COM

CONSULTING ENGINEERS
 CIVIL: SEHAYAGARY ASSOCIATES
 3535 MADISON CENTER DRIVE
 MOUNTAIN VIEW, IL 60077
 WWW.SEHAYAGARY.COM
 STRUCTURAL: MCNEALY ENGINEERING
 11457 OLDE CABIN ROAD, SUITE 300
 BANCHEAL@MCNEALY-ENG.COM
 WWW.MCNEALY-ENG.COM
 MECH/ELECTRICAL: MECH/ELECTRICAL
 HOFFMAN ESTATES, IL 60192
 STEPHEN TRIPPAHN

REGENERATION:
 COOLING EQUIPMENT SERVICES
 141 GARLICK DRIVE
 ELK GROVE VILLAGE, IL 60007
 WWW.COOLINGREPAIR.COM

PROJECT
GOODS GROUP
 10100 88TH AVENUE
 PLEASANT PRAIRIE, WI 53158

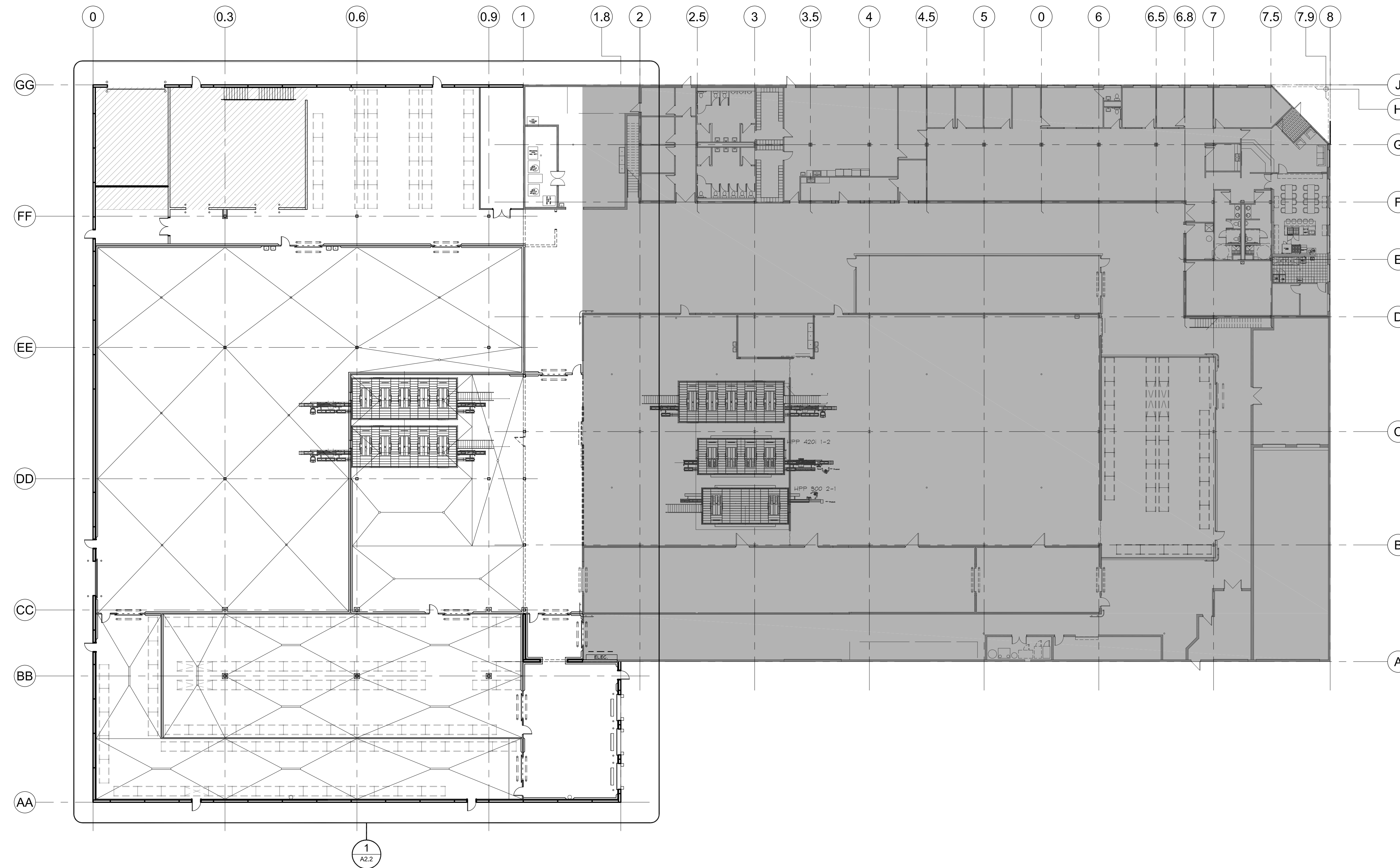
JOB NO : SJ1442
PA : ZUK
ISSUED FOR REVIEW-50% SET
DATE : 07.18.2014

REVISIONS

THIS DESIGN AND THESE DRAWINGS ARE THE PROPERTY OF GMA ARCHITECTS AND SHALL REMAIN THE PROPERTY OF GMA ARCHITECTS. NO PART OF THIS DRAWING IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM.

SHEET NUMBER
D1.1
 OVERALL DEMO PLAN

1
D1.1
OVERALL DEMOLITION PLAN
 SCALE: 1/16" = 1'-0"



1 OVERALL FLOOR PLAN
 A2.1 SCALE: 1" = 20'-0"

- ### GENERAL FLOOR PLAN NOTES
1. CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONDITIONS SHOWN ON THE DRAWINGS AT THE JOB SITE AND NOTIFY ARCHITECT OF ANY OMISSIONS, DISCREPANCIES, AND/OR CONFLICTS BEFORE PROCEEDING WITH THE WORK.
 2. GLAZING, CASEWORK, MILLWORK AND EQUIPMENT SUPPLIERS SHALL FIELD VERIFY ALL DIMENSIONS PRIOR TO FABRICATION.
 3. USE TAPEABLE METAL CORNER BEADS AT ALL GYPSUM BOARD CORNERS
 4. ALL EXTERIOR AND EXPOSED INTERIOR TILT CONCRETE AND MASONRY WALL JOINTS SHALL BE CAULKED USING A TWO (2) PART TREMCO DYMERIC POLYURETHANE OR EQUAL. THE JOINTS SHALL ALSO HAVE A BACKER ROD BEHIND THE CAULK.
 5. ALL DIMENSIONS ARE TO FACE OF PARTITIONS.
 6. FIRE RETARDANT BLOCKING SHALL BE PROVIDED IN ALL WALLS AS REQUIRED BY CODE AND AS REQUIRED / RECOMMENDED FOR THE SUPPORT OF MILLWORK, TOILET PARTITIONS AND ACCESSORIES, ETC.
 7. ALL CONCRETE FLOOR JOINTS SHALL BE FILLED WITH MM80 SEMI-RIGID JOINT SEALANT OR EQUAL. THE OFFICE AREA JOINTS WILL NOT BE CAULKED DUE TO THE SCHEDULE FLOOR COVERINGS.
 8. THE FREEZER, COOLER, AND COLD DOCK FLOORS SHALL BE SEALED WITH (1) COAT OF ASHFORD FORMULA AS A CURING COMPOUND SEALER/HARDENER. THE REMAINING FLOORS SHALL BE CURED WITH A LIQUID MEMBRANE COMPOUND.
 9. ALL WAREHOUSE COLUMNS SHALL BE PAINTED FROM FINISH FLOOR TO THE ROOF DECK.
 10. ALL INTERIOR CONCRETE WAREHOUSE WALLS SHALL BE PAINTED WITH (1) COAT OF WHITE LATEX PAINT (EXCEPT THE FREEZER).
 11. ALL INTERIOR STEEL GIRTS AND BRACING SHALL BE PAINTED.
 12. EXTERIOR PAINT SYSTEM FOR THE CONCRETE TILT-UP PANELS SHALL CONSIST OF (1) COAT OF A RESISTANT PRIMER AND (1) COAT OF A MEDIUM TEXTURE PAINT. SYSTEM TO CARRY A 10 YEAR WARRANTY.
 13. PROVIDE AN 18" WIDE RODENT RUN STRIPE IN FRONT OF EVERY INTERNAL WALL LOCATION IN COLD DOCK, DRY DOCK, DRY GOODS, CHOCOLATE, COOLER AND FREEZER.
 14. USE TAPEABLE METAL CORNER BEADS AT ALL GYPSUM BOARD CORNERS
 15. PROVIDE FLOOR MATERIAL TRANSITIONAL STRIPS WHERE REQUIRED BY CHANGE IN MATERIAL.
 16. PROVIDE MOISTURE RESISTANT GYPSUM BOARD AT ALL WET WALLS.
 17. PROVIDE ACCESS PANELS AS REQUIRED, COORDINATE WITH M.E.P. & F.P.
 18. COORDINATE FIRE EXTINGUISHERS LOCATIONS WITH ARCHITECT AND LOCAL FIRE MARSHALL. LOCATIONS SHALL FOLLOW NFPA 472, FM STANDARDS, AND ADA GUIDELINES. SEE SHEET LSI.1
 19. PROVIDE ROOM NAME SIGNAGE FOR MEN'S AND WOMEN'S RESTROOMS. INCLUDE INTERNATIONAL SYMBOL OF ACCESSIBILITY. SIGNAGE SHALL BE A.D.A. COMPLIANT. PROVIDE EXAMPLES TO ARCHITECT. SEE SHEET LSI.1
 20. DOORS SHOWN ADJACENT TO WALLS ARE TYPICALLY 4" FROM ADJACENT WALL UNLESS NOTED OTHERWISE.
 21. GLAZING, CASEWORK, MILLWORK, AND EQUIPMENT SUPPLIERS SHALL FIELD VERIFY ALL DIMENSIONS PRIOR TO FABRICATION.

FLOOR PLAN KEYNOTES

1	xxx
2	xxx
3	xxx
4	xxx
5	xxx
6	xxx
7	xxx
8	xxx

COOLING EQUIPMENT SERVICES
 141 GARLICK DRIVE
 ELY GROVE, WISCONSIN 53007
 WWW.COOLINGSERVICES.COM

REFRIGERATION

CONSULTING ENGINEERS
 SEELIGER ASSOCIATES
 3535 MADISON CENTER DRIVE
 MADISON, WISCONSIN 53704
 WWW.SEAASOCIATES.COM
 STRUCTURAL: MCKENEA ENGINEERING
 11457 OLDE CABIN ROAD, SUITE 300
 BANCHEAL, WISCONSIN 53511
 WWW.MCKENEAENGINEERING.COM
 MECHANICAL: MCKENEA ENGINEERING
 11457 OLDE CABIN ROAD, SUITE 300
 BANCHEAL, WISCONSIN 53511
 WWW.MCKENEAENGINEERING.COM
 MECHANICAL: MCKENEA ENGINEERING
 11457 OLDE CABIN ROAD, SUITE 300
 BANCHEAL, WISCONSIN 53511
 WWW.MCKENEAENGINEERING.COM

CONTRACTOR
 ARCO MURRAY
 3110 WOODCREEK DRIVE
 DOWNERS GROVE, IL 60515
 WWW.ARCOMURRAY.COM

ARCHITECT
 GMAA
 900 NORTH ROCK HILL ROAD
 SUITE 100
 LAKE BLUFF, IL 60044
 WWW.GMAA-ARCHITECTS.COM

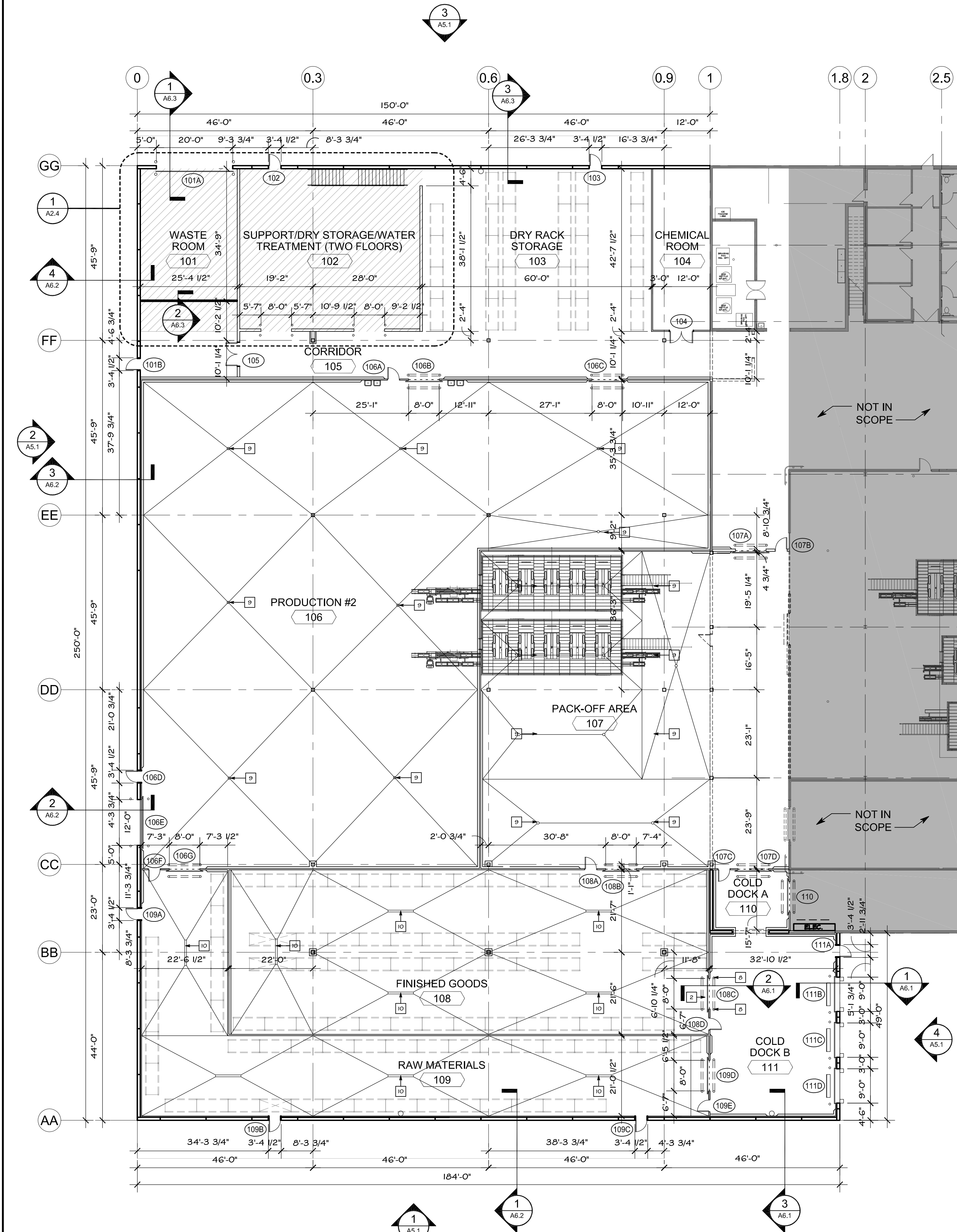
PROJECT
 GODFOODS GROUP
 10100 88TH AVENUE
 PLEASANT PRAIRIE, WI 53158

JOB NO : SJ1442
 PA : ZUK
 ISSUED FOR REVIEW-50% SET
 DATE : 07.18.2014

REVISIONS

THE DESIGN AND THESE DRAWINGS ARE THE PROPERTY OF GMAA ARCHITECTS, INC. NO PART OF THIS DRAWING IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT PERMISSION FROM GMAA ARCHITECTS, INC.

SHEET NUMBER
A2.1
 OVERALL FLOOR PLAN



1 OVERALL FLOOR PLAN
 A2.2 SCALE: 1/16" = 1'-0"

GENERAL FLOOR PLAN NOTES

1. CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONDITIONS SHOWN ON THE DRAWINGS AT THE JOB SITE AND NOTIFY ARCHITECT OF ANY OMISSIONS, DISCREPANCIES, AND/OR CONFLICTS BEFORE PROCEEDING WITH THE WORK.
2. GLAZING, CASEWORK, MILLWORK AND EQUIPMENT SUPPLIERS SHALL FIELD VERIFY ALL DIMENSIONS PRIOR TO FABRICATION.
3. ALL EXTERIOR AND EXPOSED INTERIOR TILT CONCRETE AND MASONRY WALL JOINTS SHALL BE CAULKED USING A TWO (2) PART TREMCO DYMERIC POLYURETHANE OR EQUAL. THE JOINTS SHALL ALSO HAVE A BACKER ROD BEHIND THE CAULK.
4. ALL DIMENSIONS ARE TO FACE OF PARTITIONS.
5. FIRE RETARDANT BLOCKING SHALL BE PROVIDED IN ALL WALLS AS REQUIRED BY CODE AND AS REQUIRED / RECOMMENDED FOR THE SUPPORT OF MILLWORK, TOILET PARTITIONS AND ACCESSORIES, ETC.
6. ALL CONCRETE FLOOR JOINTS SHALL BE FILLED WITH MM80 SEMI-RIGID JOINT SEALANT OR EQUAL. THE OFFICE AREA JOINTS WILL NOT BE CAULKED DUE TO THE SCHEDULE FLOOR COVERINGS.
7. THE FREEZER, COOLER, AND COLD DOCK FLOORS SHALL BE SEALED WITH (I) COAT OF ASHFORD FORMULA AS A CURING COMPOUND SEALER/HARDENER. THE REMAINING FLOORS SHALL BE CURED WITH A LIQUID MEMBRANE COMPOUND.
8. ALL WAREHOUSE COLUMNS SHALL BE PAINTED FROM FINISH FLOOR TO THE ROOF DECK.
9. ALL INTERIOR CONCRETE WAREHOUSE WALLS SHALL BE PAINTED WITH (I) COAT OF WHITE LATEX PAINT (EXCEPT THE FREEZER).
10. ALL INTERIOR STEEL GIRTS AND BRACING SHALL BE PAINTED.
11. EXTERIOR PAINT SYSTEM FOR THE CONCRETE TILT-UP PANELS SHALL CONSIST OF (I) COAT OF A RESISTANT PRIMER AND (I) COAT OF A MEDIUM TEXTURE PAINT. SYSTEM TO CARRY A 10 YEAR WARRANTY.
12. PROVIDE AN 18" WIDE RODENT RUN STRIPE IN FRONT OF EVERY INTERNAL WALL LOCATION IN COLD DOCK, DRY DOCK, DRY GOODS, CHOCOLATE, COOLER AND FREEZER.
13. PROVIDE ACCESS PANELS AS REQUIRED, COORDINATE WITH M.E.P. # F.P.
14. COORDINATE FIRE EXTINGUISHERS LOCATIONS WITH ARCHITECT AND LOCAL FIRE MARSHALL. LOCATIONS SHALL FOLLOW NFPA 472, FM STANDARDS, AND ADA GUIDELINES. SEE SHEET LSI.1
15. PROVIDE ROOM NAME SIGNAGE FOR MEN'S AND WOMEN'S RESTROOMS. INCLUDE INTERNATIONAL SYMBOL OF ACCESSIBILITY. SIGNAGE SHALL BE A.D.A. COMPLIANT. PROVIDE EXAMPLES TO ARCHITECT. SEE SHEET LSI.1
16. DOORS SHOWN ADJACENT TO WALLS ARE TYPICALLY 4" FROM ADJACENT WALL UNLESS NOTED OTHERWISE.
17. GLAZING, CASEWORK, MILLWORK, AND EQUIPMENT SUPPLIERS SHALL FIELD VERIFY ALL DIMENSIONS PRIOR TO FABRICATION.
18. SHADED AREA INDICATES AREAS NOT INCLUDED IN THE SCOPE OF WORK.
19. ALL KEY NOTES DO NOT APPLY ON EACH SHEET. ONLY THE ONE KEYED IN THE PLAN(S) APPLY TO THAT SHEET.

FLOOR PLAN KEY NOTES

- | | |
|----|--|
| 1 | NEW CONC. CURB PER DETAIL 77A4.1 |
| 2 | PROVIDE STEEL GOALPOST ASSEMBLY. |
| 3 | PROVIDE NEW 4" THICK INSULATED METAL PANEL WALLS & CEILING TO CREATE COOLER. CLEAR HEIGHT IN COOLER = 21'-0" A.F.F. FREEZER - 5" IMP, STACK 5" ON 5", STACK 4" ON 4" |
| 4 | INFILL 2" WIDE SECTION OF SAWCUT CONCRETE SLAB WITH RIGID INSULATION INFILL JOINT W/ EPOXY SEALANT TO CREATE THERMAL BREAK AROUND INGREDIENT'S COOLER. |
| 5 | STORAGE RACKING - PROVIDED BY OTHERS. |
| 6 | CONCRETE PATCH WHERE EXISTING CONC. CURBS AND IMP PANELS WHERE REMOVED. |
| 7 | NEW FLOOR DRAIN - PATCH/REPAIR CONC. SLAB AS NEEDED TO LIKE NEW FINISH. PREP SLAB FOR FINISH FLOORING. |
| 8 | NEW BOLT DOWN GOAL POST IN EXISTING FREEZER - SEE DETAIL 12/A4.1 |
| 9 | FLOOR DRAIN. |
| 10 | 80" LONG TRENCH DRAIN. |

ARCHITECT
GMA
 ARCHITECTS, INC.
 900 NORTH ROCK HILL ROAD
 SUITE 100
 WOODCREEK DRIVE
 DOWNERS GROVE, IL 60515
 (630) 342-2888 FAX (630) 342-0714
 WWW.GMA-ARCHITECTS.COM

CONSULTING ENGINEERS
SEACASBY ASSOCIATES
 3535 MADISON CENTER DRIVE
 MADISON, WI 53704
 (608) 785-3333
 WWW.SEACASBY.COM

STRUCTURAL:
MECHIELECFELMEL
 11457 OLDE CABIN ROAD, SUITE 300
 WATKINSVILLE, WI 53185
 (262) 781-1111
 WWW.MECHIELECFELMEL.COM

REFRIGERATION:
COOLING EQUIPMENT SERVICES
 141 GARLICK DRIVE
 ELK GROVE VILLAGE, IL 60120
 WWW.COOLINGSERVICES.COM

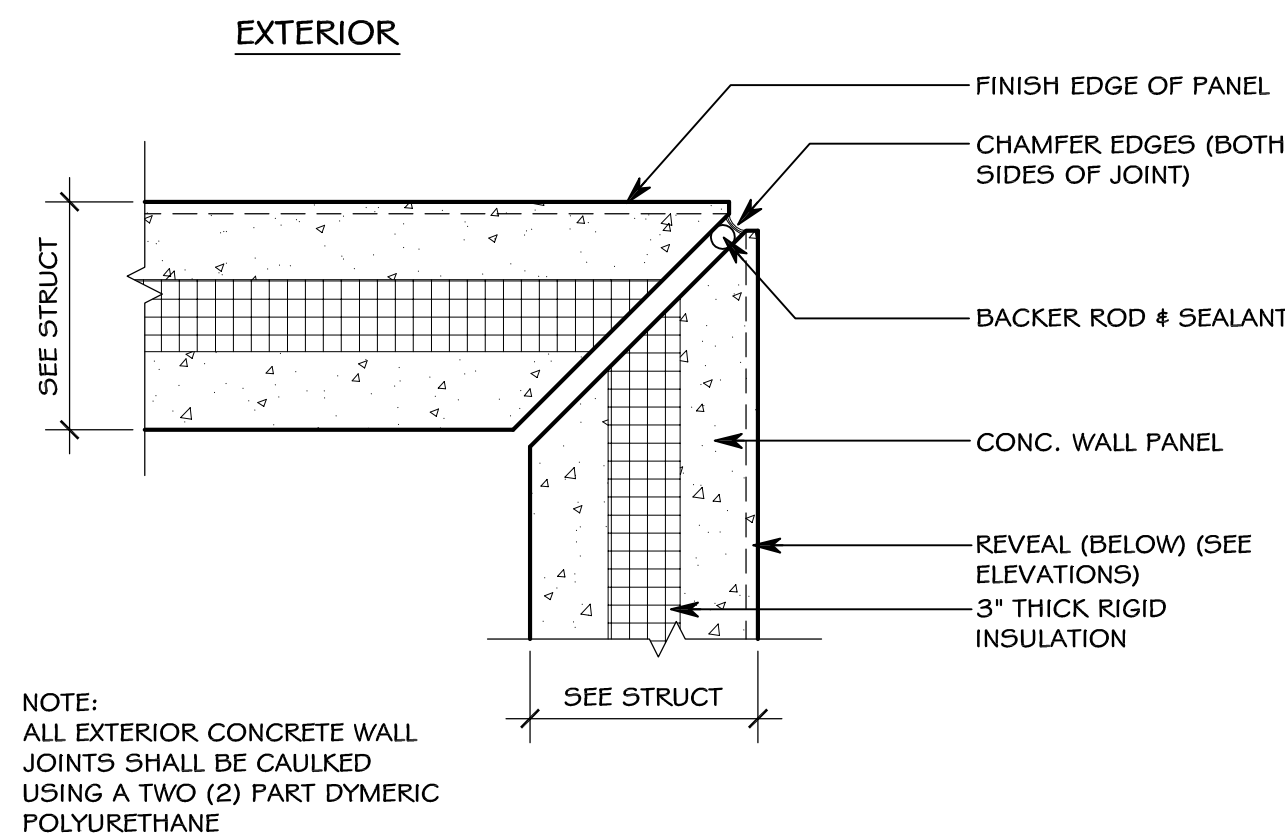
CONTRACTOR
ARCO MURRAY
 3110 WOODCREEK DRIVE
 DOWNERS GROVE, IL 60515
 WWW.ARCOMURRAY.COM

PROJECT
GOODFRODS GROUP
 10100 88TH AVENUE
 PLEASANT PRAIRIE, WI 53158

JOB NO : SJ1442
PA : ZUK
ISSUED FOR REVIEW-50% SET
DATE : 07.18.2014

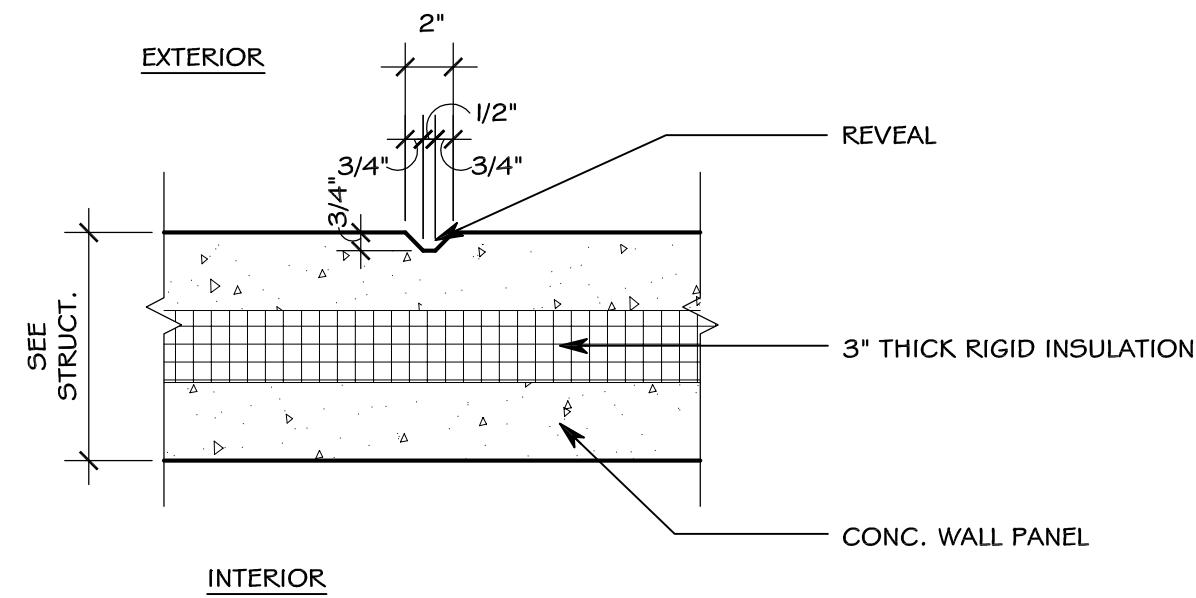
REVISIONS

SHEET NUMBER
A2.2
 ENLARGED FLOOR PLAN

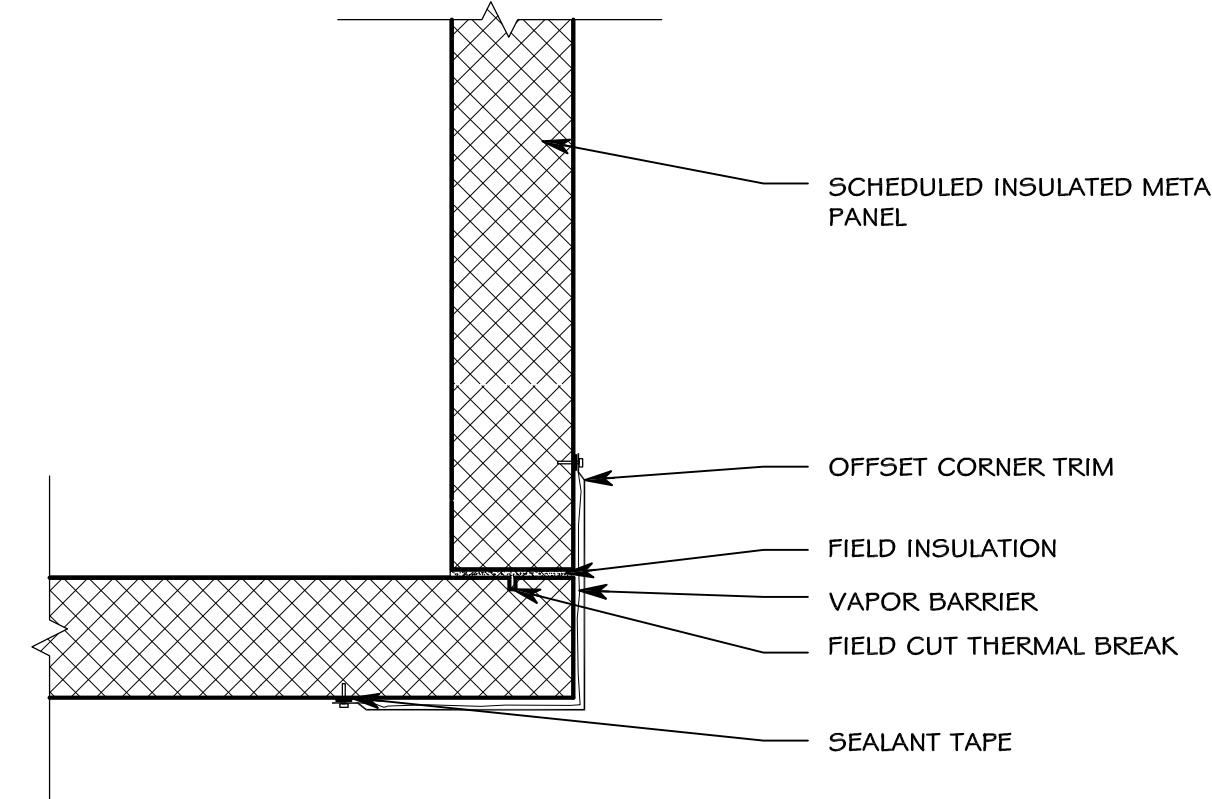


NOTE:
ALL EXTERIOR CONCRETE WALL JOINTS SHALL BE CAULKED USING A TWO (2) PART DYMERIC POLYURETHANE

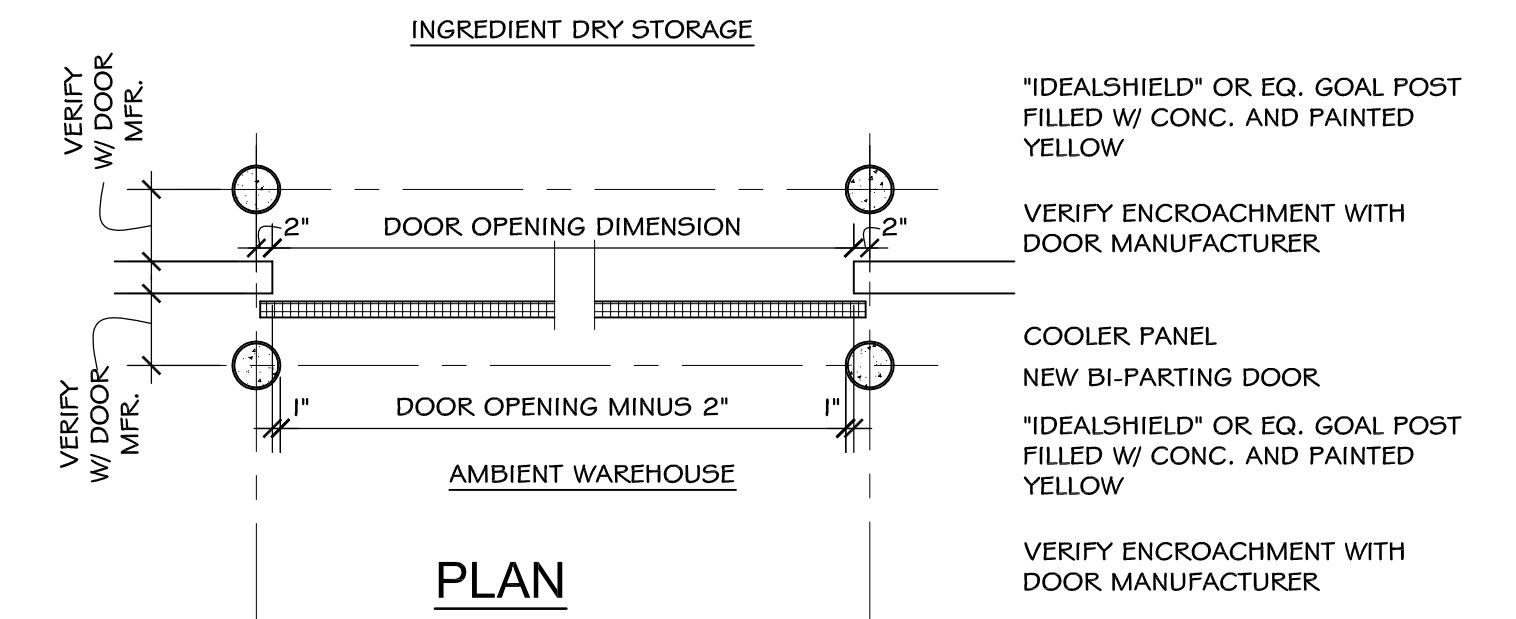
1 ENLARGED PLAN DETAIL
A2.3 SCALE: 1 1/2"=1'-0"



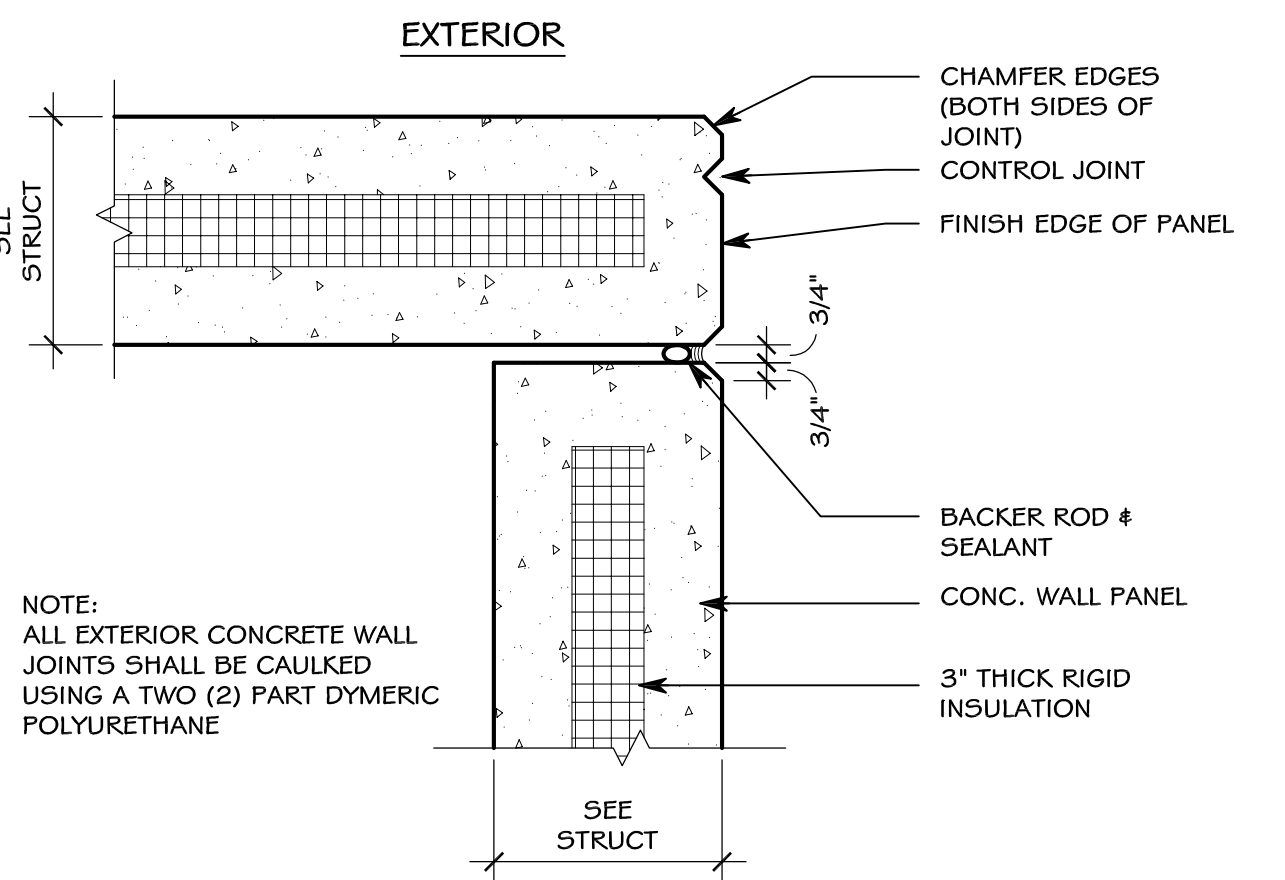
4 VERTICAL REVEAL DETAIL
A2.3 SCALE: 1 1/2"=1'-0"



7 PLAN DETAIL @ IMP CORNER - TYP.
A2.3 SCALE: 1 1/2" = 1'-0"

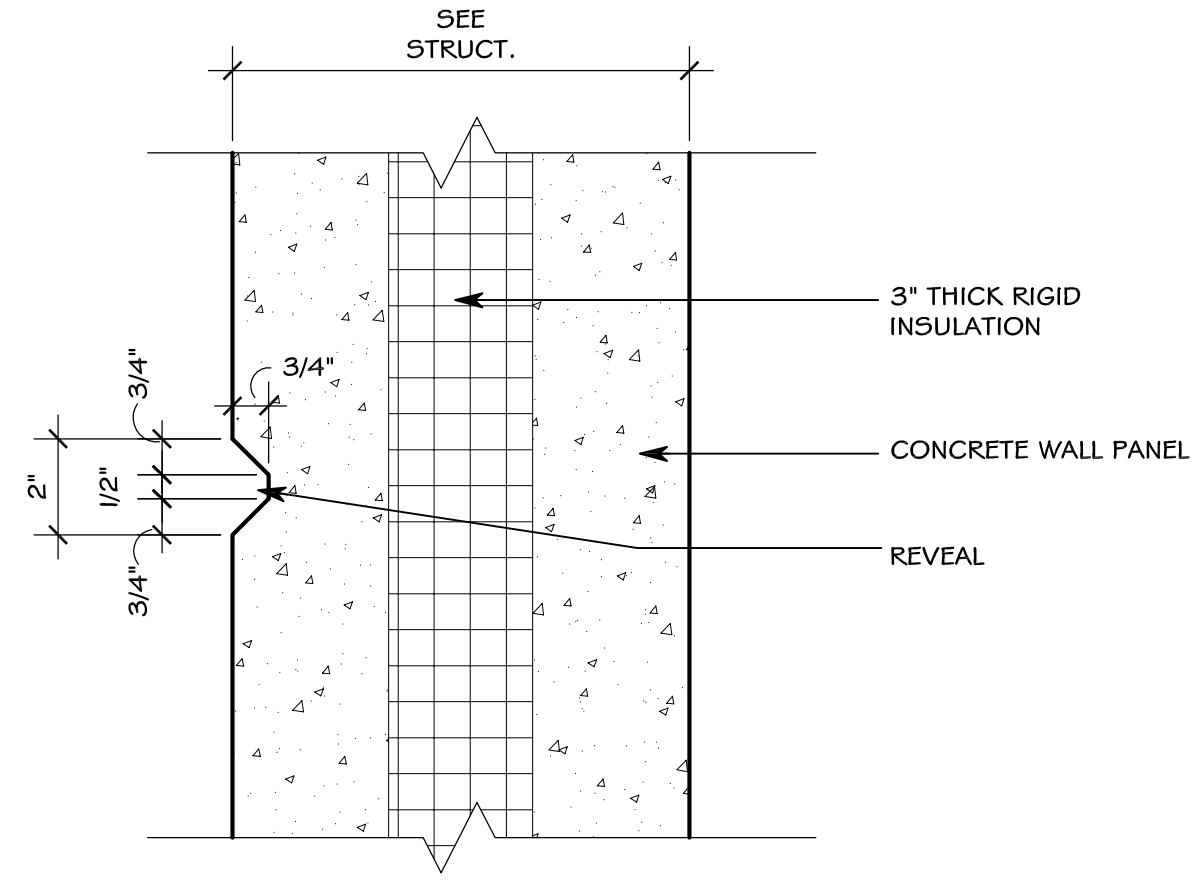


10 DETAIL @ GOAL POST ASSEMBLY
A2.3 SCALE: 1/2" = 1'-0"

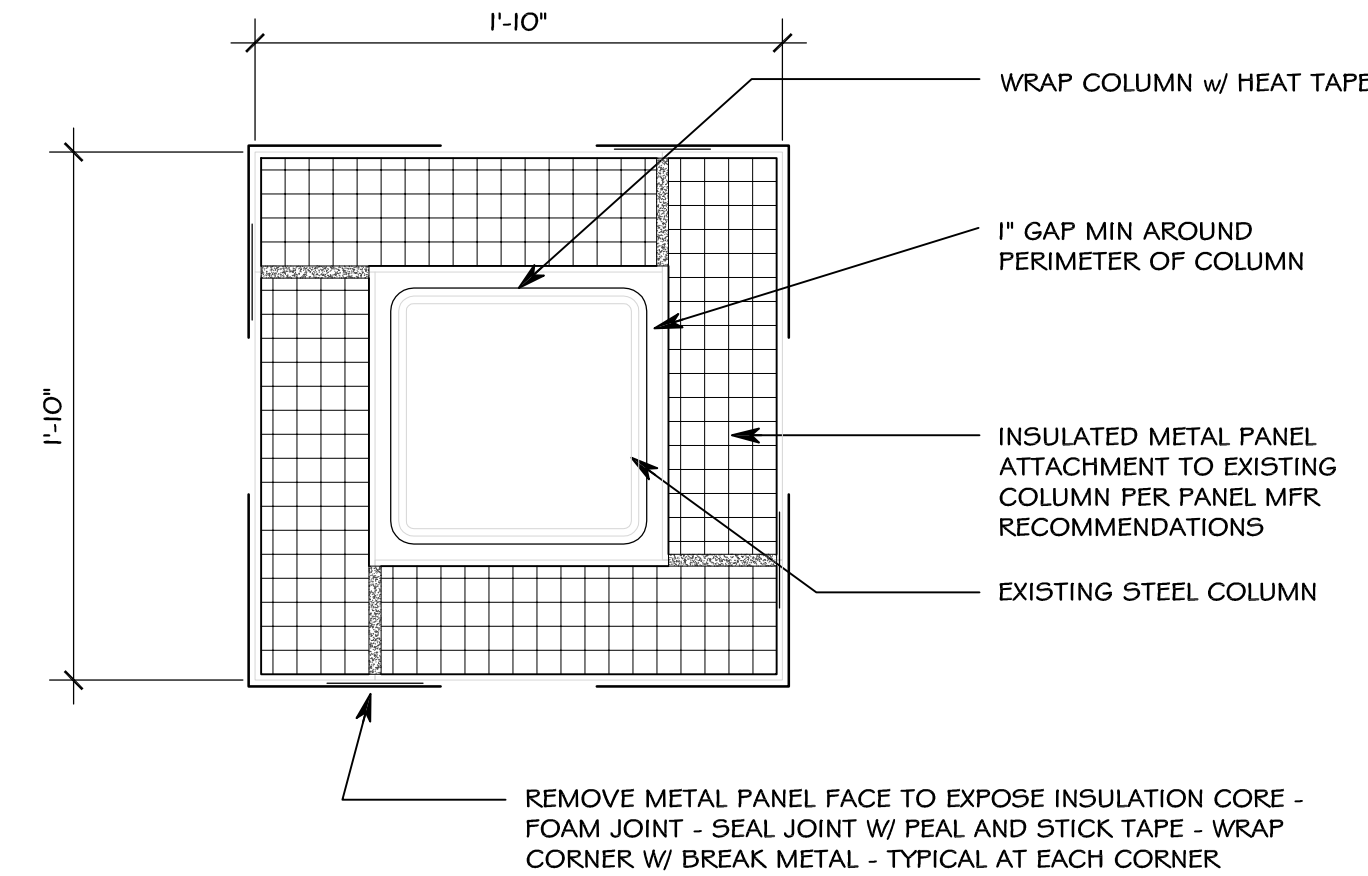


NOTE:
ALL EXTERIOR CONCRETE WALL JOINTS SHALL BE CAULKED USING A TWO (2) PART DYMERIC POLYURETHANE

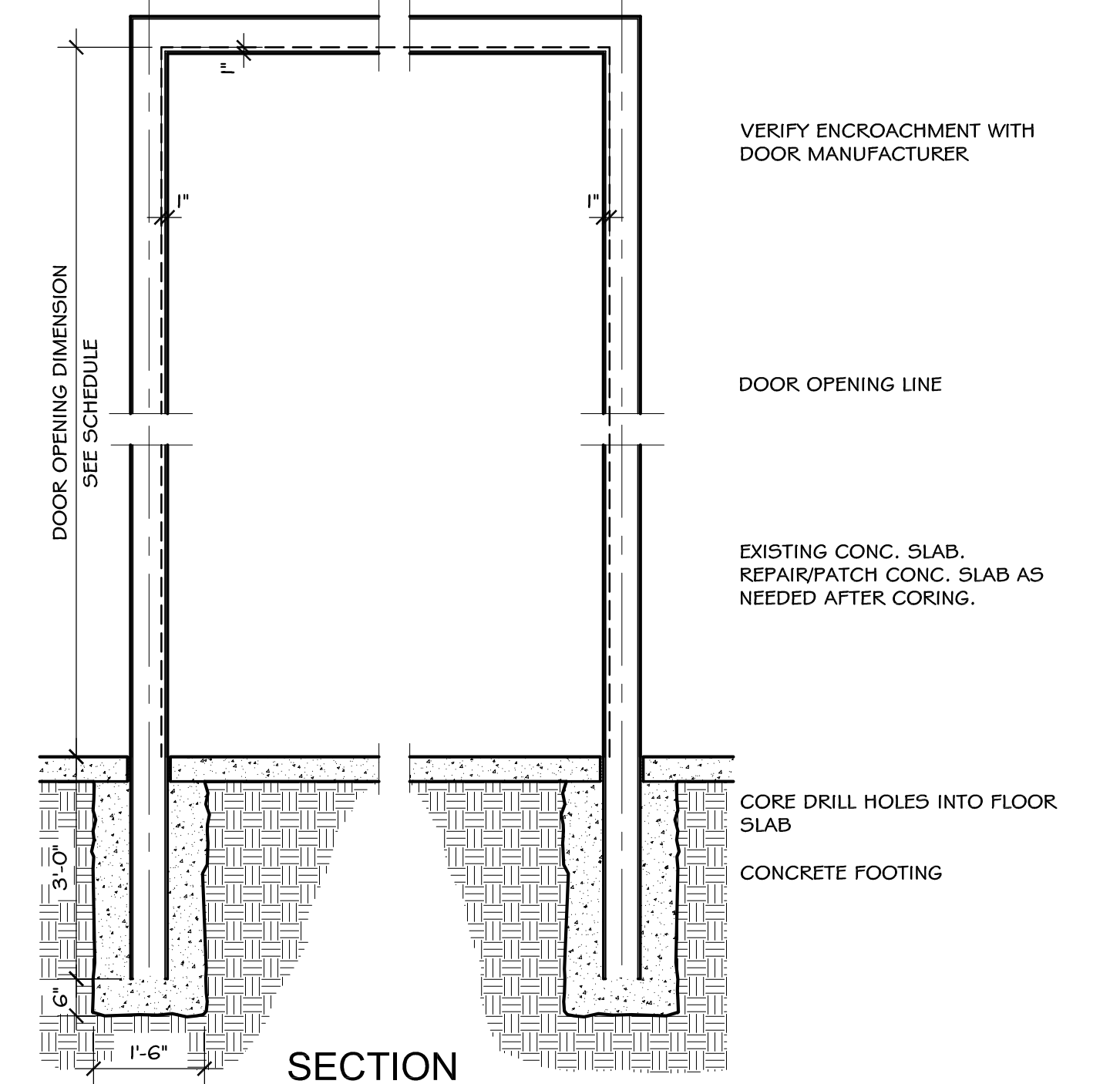
2 ENLARGED PLAN DETAIL
A2.3 SCALE: 1 1/2"=1'-0"



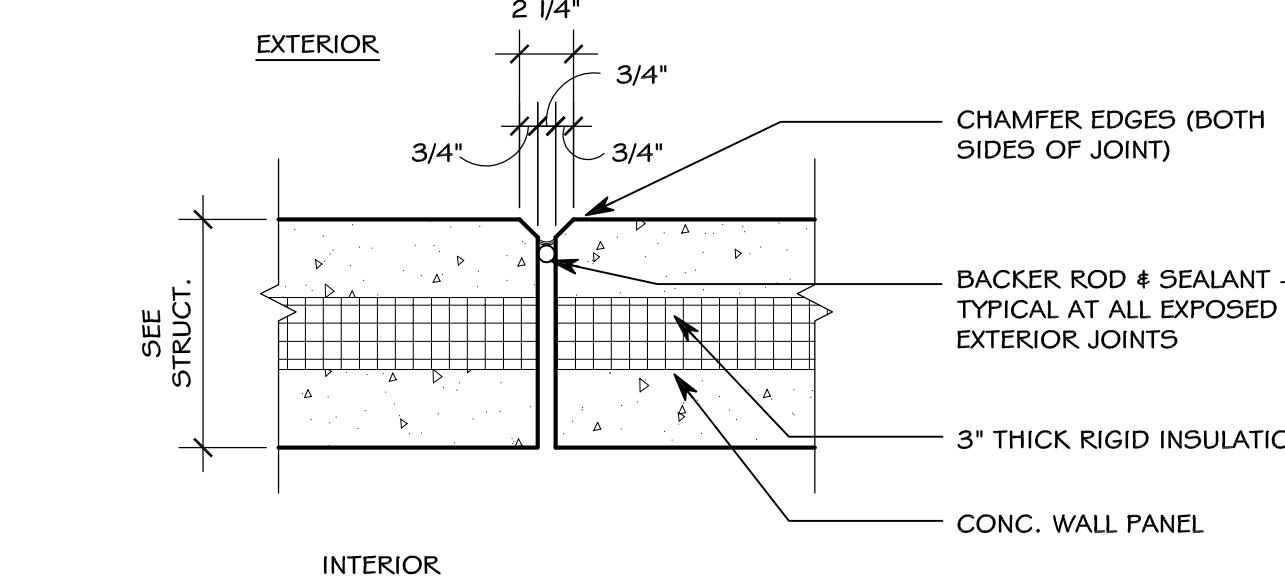
5 HORIZONTAL 2" REVEAL DETAIL
A2.3 SCALE: 3"=1'-0"



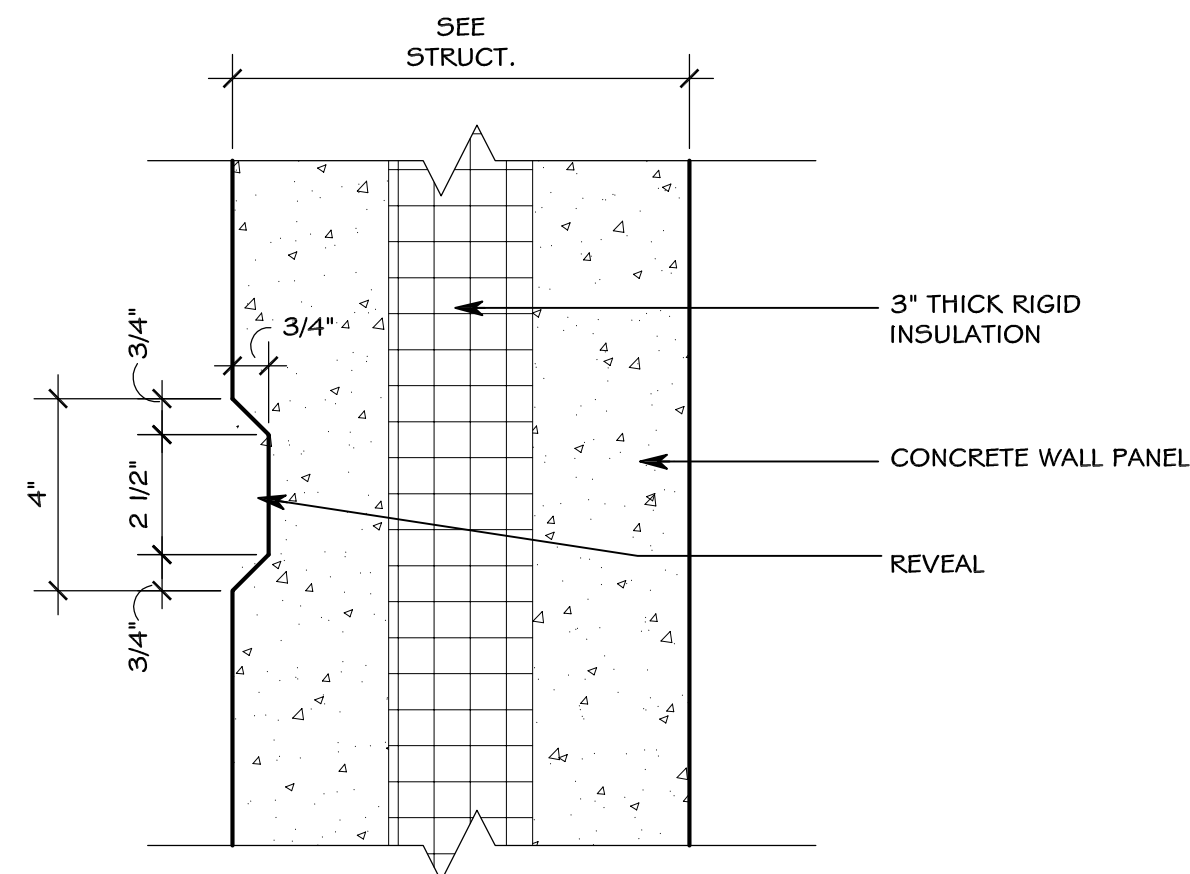
8 FREEZER COLUMN WRAP DETAIL
A2.4 SCALE: 1 1/2" = 1'-0"



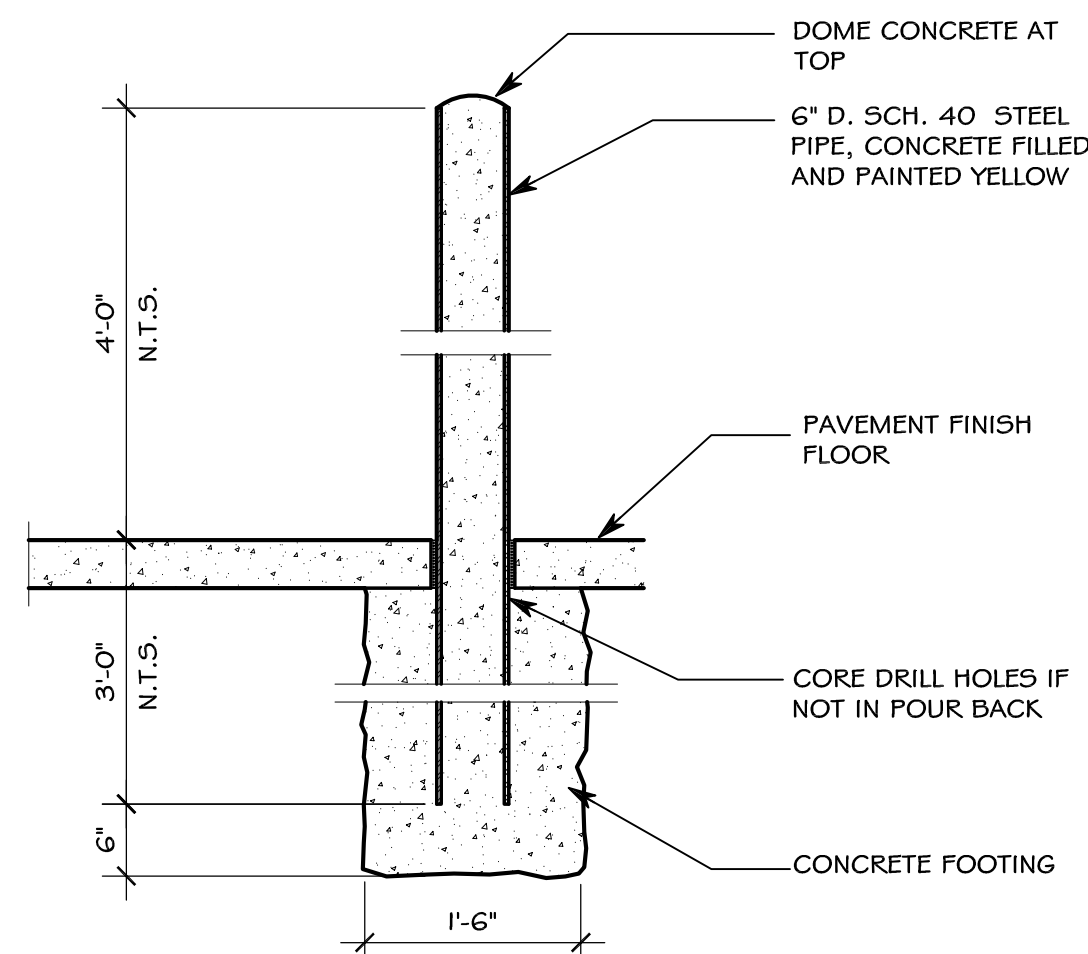
11 BASE OF WALL DETAIL
A2.3 SCALE: 1 1/2"=1'-0"



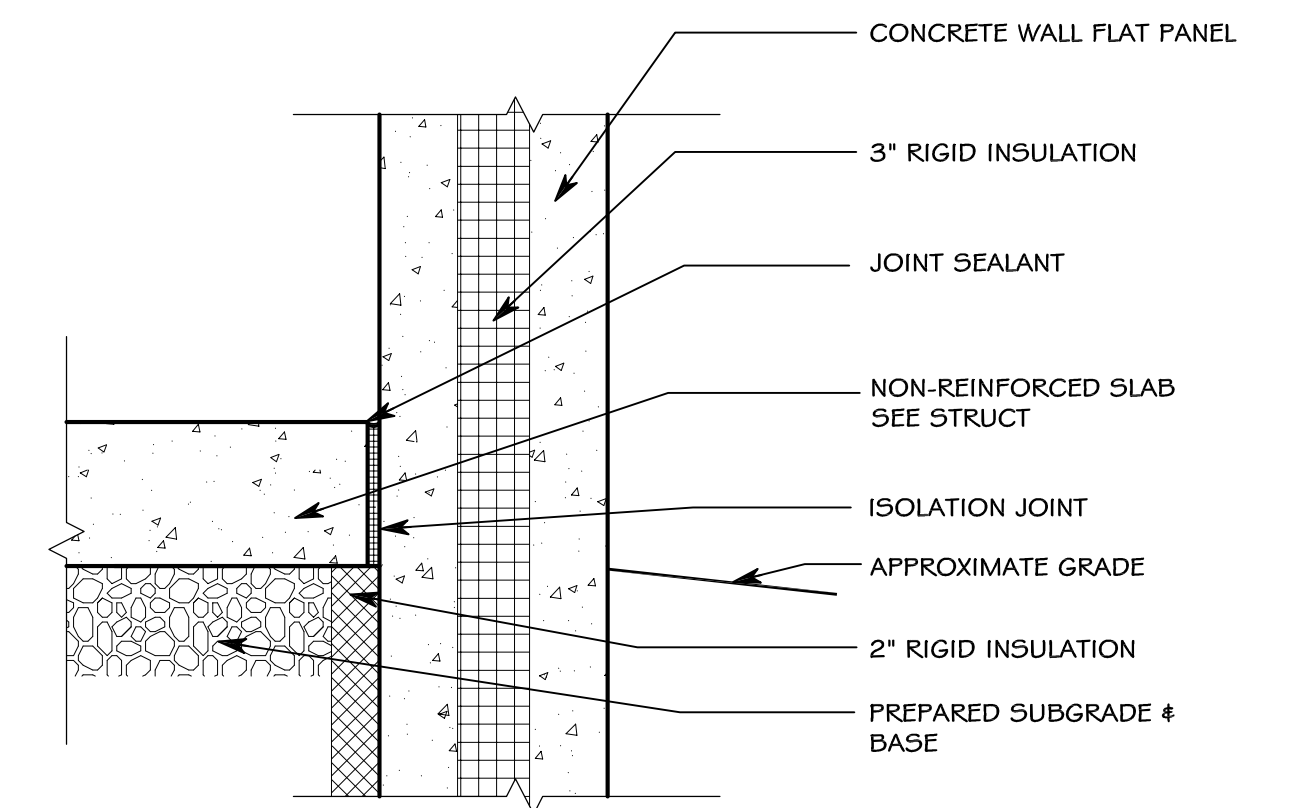
3 CONCRETE PANEL JOINT DETAIL
A2.3 SCALE: 1 1/2"=1'-0"



6 HORIZONTAL 4" REVEAL DETAIL
A2.3 SCALE: 3"=1'-0"



9 STANDARD BOLLARD
A2.3 SCALE: 3/4" = 1'-0"



CONSULTING ENGINEERS
SEHAGASY ASSOCIATES
3535 MADISON CENTER DRIVE
MCDONOUGH, MN 55126
MCDONOUGH, MN 55126
MCNEAL ENGINEERING
11457 OLDE CABIN ROAD, SUITE 300
BACHMEAL/MCNEAL/ENG.COM
BACHMEAL@BACHMEAL-ENG.COM
W/T MECHANICAL
HOFFMAN ESTATES, IL 60132
STEPHEN TRIPPAHN

ARCHITECT
GMA
800 NORTH ROCK HILL ROAD
ST. LOUIS, MISSOURI 63105
PH: 314.433.8800
WWW.GMA-ARCHITECTS.COM

CONTRACTOR
ARCO MURRAY
3110 WOODCREEK DRIVE
DOWNERS GROVE, IL 60515
WWW.ARCOMURRAY.COM

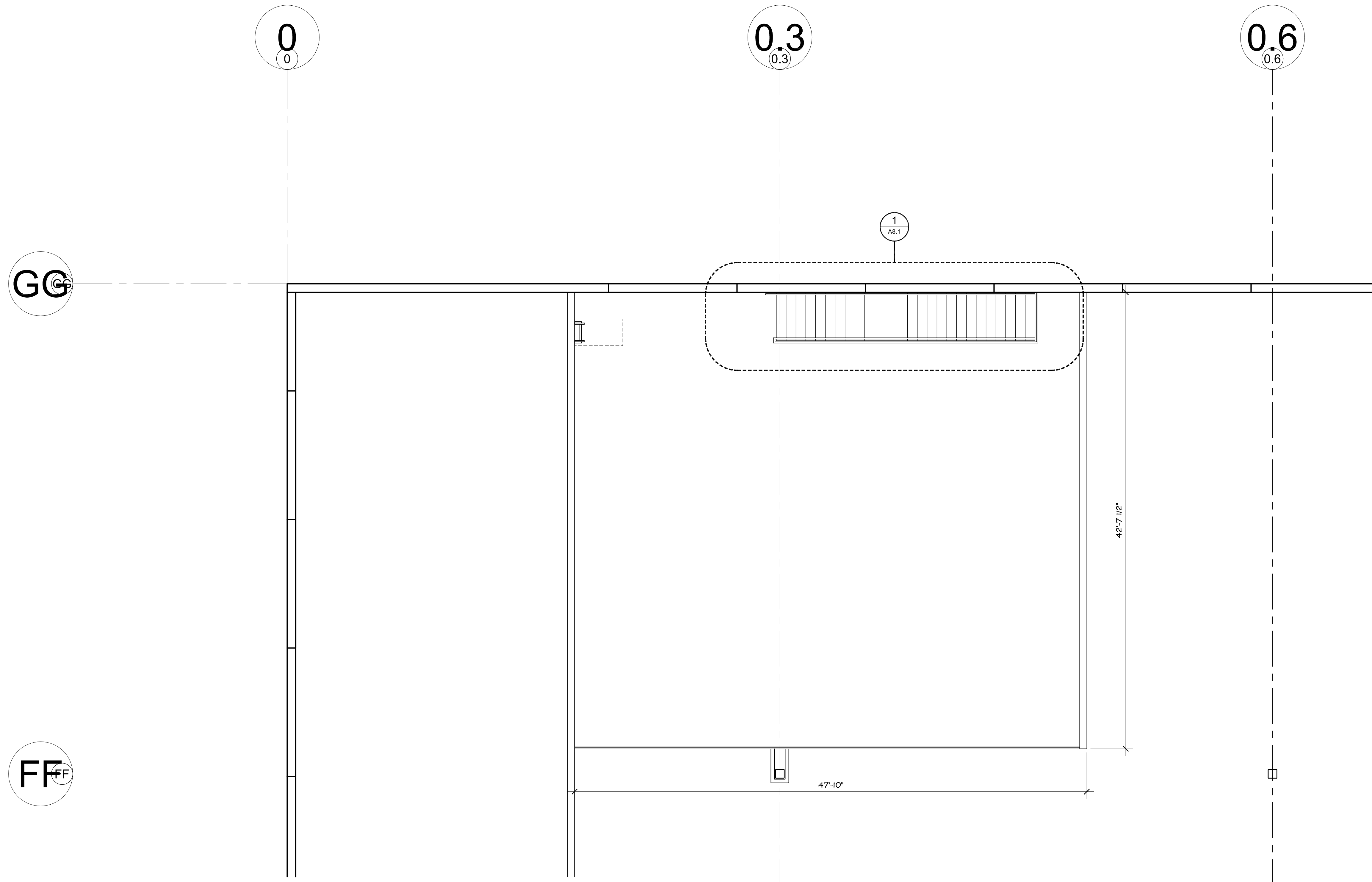
REFRIGERATION
COOLING EQUIPMENT SERVICES
141 GARLICK DRIVE
ELY GROVE VILLAGE 60027
WWW.COOLINGSERVICES.COM

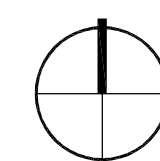
PROJECT
GODFRODS GROUP
10100 88TH AVENUE
PLEASANT PRAIRIE, WI 53158





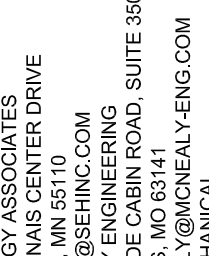
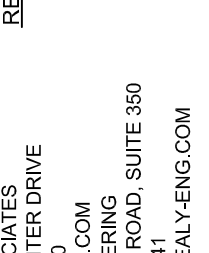

JOB NO : SJ1442
PA : ZUK
ISSUED FOR REVIEW-50% SET
DATE : 07.18.2014

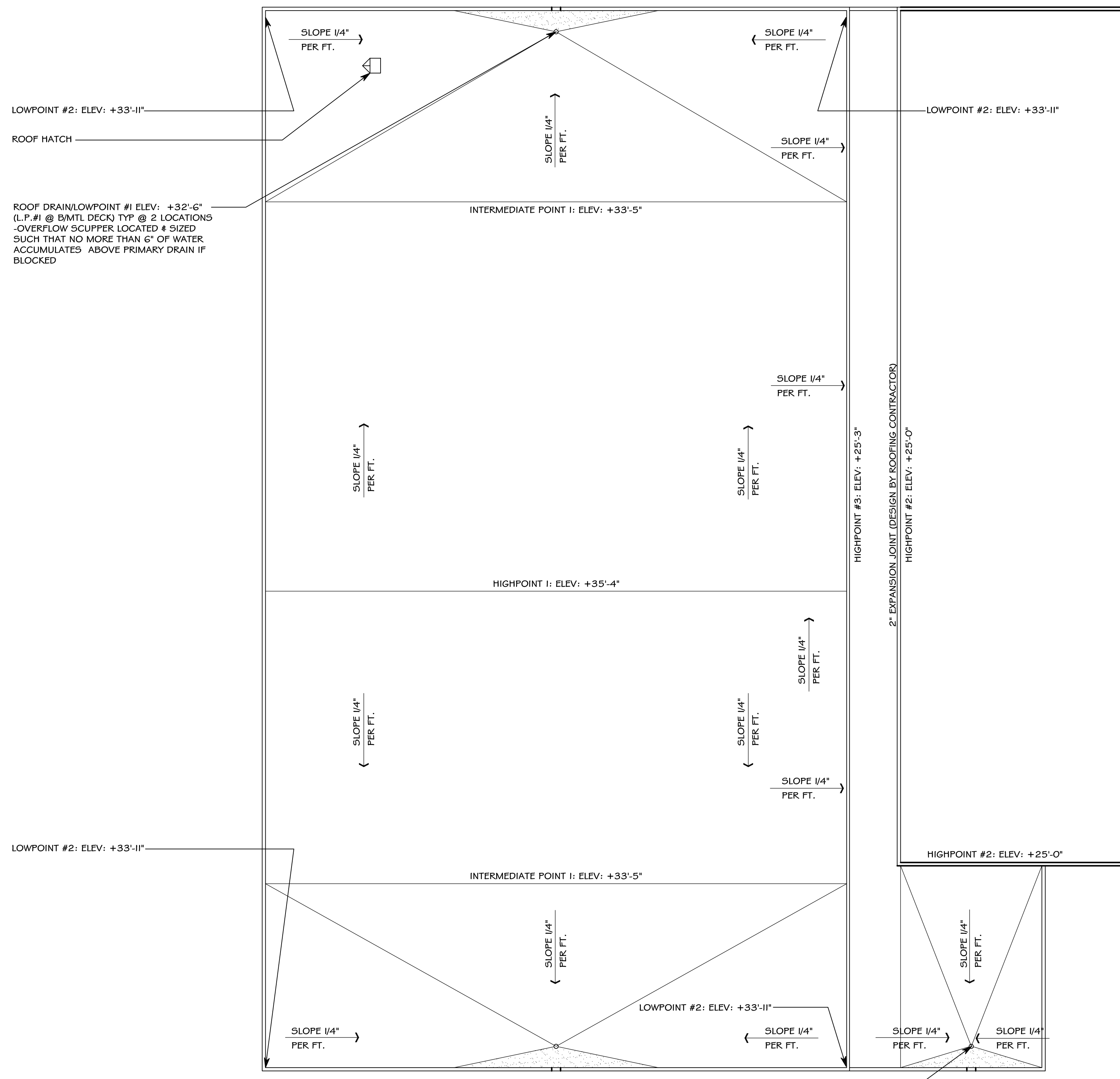
REVISIONS Δ

SHEET NUMBER
A2.3
PLAN DETAILS




1 MEZZANINE FLOOR PLAN
A2.4 SCALE: 3/16" = 1'-0"

PROJECT  10100 88TH AVENUE PLEASANT PRAIRIE, WI 53158	ARCHITECT  900 NORTH ROCK HILL ROAD ST. LOUIS, MISSOURI 63105 (314) 433-1000 WWW.GMA-ARCHITECTS.COM	CONTRACTOR  3110 WOODCREEK DRIVE DOWNERS GROVE, IL 60515 (630) 409-7114 WWW.ARCOMURRAY.COM	CONSULTING ENGINEERS CIVIL:  3535 MADISON CENTER DRIVE MADISON, IL 62201 (618) 261-5900 WWW.S&B-CASBY.COM MECHANICAL:  11457 OLDE CABIN ROAD, SUITE 300 BANCHEALY, ILLINOIS 60018 (708) 261-1100 WWW.MCNEALY-ENG.COM MECHANICAL/ELECTRICAL:  HOFFMAN ESTATES, IL 60192 STEPHEN TRIPPAVIN	REFRIGERATION COOLING EQUIPMENT SERVICES 141 GARLUSCH DRIVE ELM GROVE, WISCONSIN 53007 WWW.COOLINGSERVICES.COM	
JOB NO : SJ1442 PA : ZUK ISSUED FOR REVIEW-50% SET DATE : 07.18.2014		REVISIONS 		SHEET NUMBER <h1 style="margin: 0;">A2.4</h1> ENLARGED FLOOR PLANS	



LOWPOINT #2: ELEV: +33'-11"

ROOF HATCH

ROOF DRAIN/LOWPOINT #1 ELEV: +32'-6"
(L.P.#1 @ B/MTL DECK) TYP @ 2 LOCATIONS
-OVERFLOW SCUPPER LOCATED & SIZED
SUCH THAT NO MORE THAN 6" OF WATER
ACCUMULATES ABOVE PRIMARY DRAIN IF
BLOCKED

LOWPOINT #2: ELEV: +33'-11"

INTERMEDIATE POINT 1: ELEV: +33'-5"

INTERMEDIATE POINT 1: ELEV: +33'-5"

LOWPOINT #2: ELEV: +33'-11"

ROOF DRAIN/LOWPOINT #3 ELEV: +24'-0"
(L.P.#3 @ B/MTL DECK) TYP @ 1 LOCATION
-OVERFLOW SCUPPER LOCATED & SIZED
SUCH THAT NO MORE THAN 6" OF WATER
ACCUMULATES ABOVE PRIMARY DRAIN IF
BLOCKED

ROOF PLAN GENERAL NOTES

- THE NEW ROOF SHALL BE 60 MIL, LOOSE LAID, EPDM MEMBRANE OVER POLYSTY RIGID INSULATION (R-20 MIN.).
- FLASH MECHANICAL EQUIPMENT AND PENETRATIONS ON THE ROOF ACCORDING TO MANUFACTURER'S SPECIFICATIONS.
- ALL PARAPETS TO BE WRAPPED WITH MEMBRANE UNDER COPING CAP. NO TERMINATION BARS TO BE USED.
- PROVIDE (1) 2'-6" X 3'-0" ROOF SCUTTLE LADDERS & HATCHES AS SHOWN - SEE ROOF DETAIL SHEET
- GALVANIZED METAL ROOF DECK SHALL BE PAINTED WHITE.
- FLASHING AND COUNTER FLASHING FOR ROOF TOP UNITS SHALL BE COMPLETED IN ACCORDANCE WITH SMACNA
- 10'-0" MINIMUM DISTANCE ANY VENT TO AIR INTAKE.
- ALL SLOPING PATTERNS SHOWN ON ROOF PLAN ARE REPRESENTATIVE OF WARPING IN THE STRUCTURE.
- TOP OF ALL NEW WALLS TO RECEIVE PREFINISHED METAL COPING PER DETAILS NOTED. SEE DETAILS 1/A6.3.1 & 2/A6.3.1 FOR EXPANSION JOINT DETAILS
- SEE DETAILS 4/A6.3.1 & 5/A6.3.1 FOR TYPICAL MECHANICAL CURBS AND PIPE PENETRATIONS
- REFER TO MECHANICAL DRAWINGS FOR ADDITIONAL INFORMATION ON ROOF PENETRATIONS AND EQUIPMENT.
- ALL ROOF ELEVATIONS ARE TO BOTTOM OF METAL DECK.
L.P.1 = 32'-6"
L.P.2 = 33'-11"
L.P.3 = 24'-0"
I.P. 1 = 33'-5"
H.P. 1 = 35'-4"
H.P. 2 = 25'-0"
H.P. 3 = 25'-3"
- 3" RIGID ROOF INSULATION THICKNESS (R-20). INSTALL IN 2 LAYERS WITH SEAMS STAGGERED AND TIGHT TO ONE ANOTHER.
- = ROOF PITCH DOWN TOWARDS DRAIN.
 - ▨ = TAPERED INSULATION SLOPE 1/4"/FT. MIN.
- PROVIDE SADDLES AT ALL RTU'S & ROOF HATCH AND OTHER PENETRATIONS AS REQD.
- SEE SHEET XXX FOR ADDITIONAL DETAILS.

KEY NOTES

- 1 xxx
- 2 xxx

COOLING EQUIPMENT SERVICES
141 GARLUSCH DRIVE
EVA GROVE VILLAGE
60007
WWW.COOLINGSERVICES.COM

REFRIGERATION

CONSULTING ENGINEERS
SERVAGASY ASSOCIATES
3535 MADRID CENTER DRIVE
MADRID, TN 37053
WWW.SERVAGASY.COM

STRUCTURAL
MCNEALY ENGINEERING
11457 OLDE CABIN ROAD, SUITE 300
BANCHEALY@MCNEALY-ENG.COM
WWW.MCNEALY-ENG.COM

MECHANICAL
MECHIELEGELMEHL
11457 OLDE CABIN ROAD, SUITE 300
BANCHEALY@MCNEALY-ENG.COM
WWW.MCNEALY-ENG.COM

ARCHITECT
GMA
900 NORTH ROCK HILL ROAD
ST. LOUIS, MISSOURI 63105
WWW.GMA-ARCHITECTS.COM

CONTRACTOR
ARCO MURRAY
3110 WOODCREEK DRIVE
DOWNERS GROVE, IL 60515
WWW.ARCOMURRAY.COM

PROJECT

GODFORDS GROUP
10100 88TH AVENUE
PLEASANT PRAIRIE, WI 53158

JOB NO : SJ1442

PA : ZUK
ISSUED FOR REVIEW-50% SET
DATE : 07.18.2014

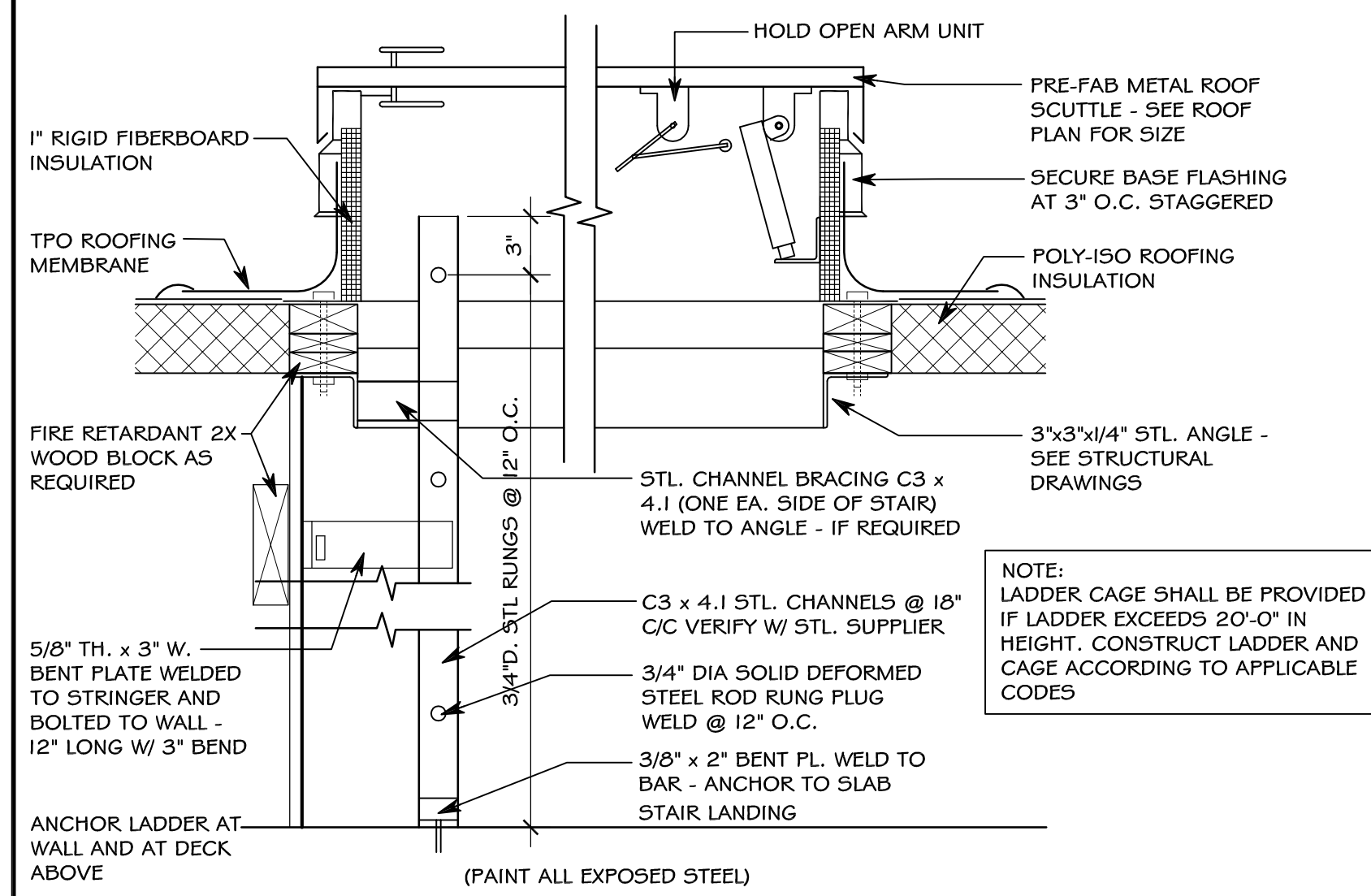
REVISIONS

SHEET NUMBER

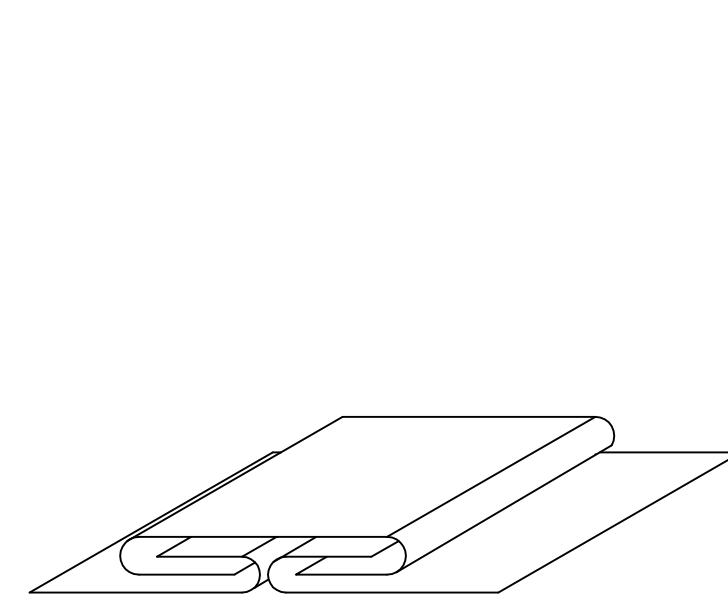
A2.5

ROOF PLAN

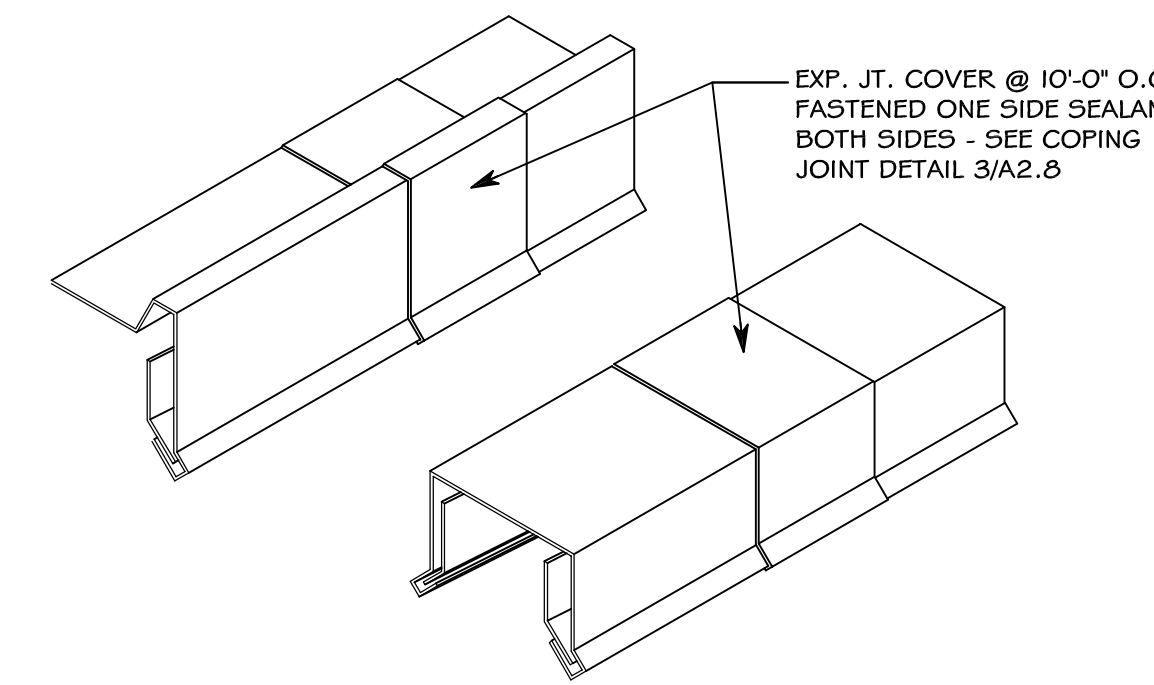
1 OVERALL ROOF PLAN
A2.5 SCALE: 1/16" = 1'-0"



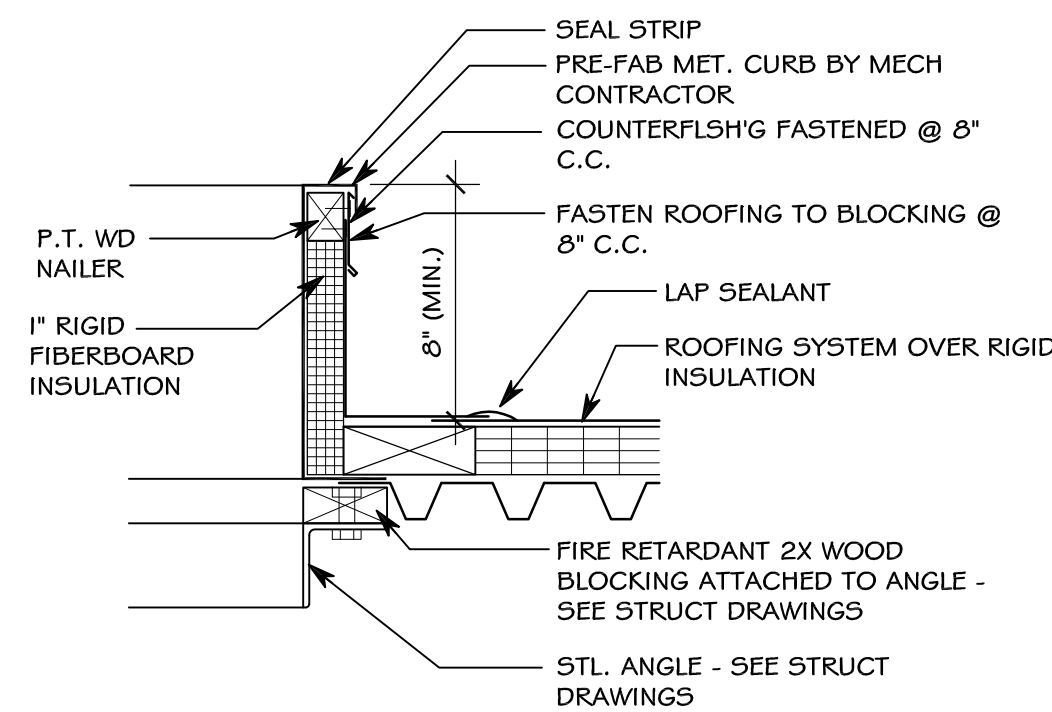
1 ROOF SCUTTLE DETAIL
A2.6 SCALE: 1 1/2" = 1'-0"



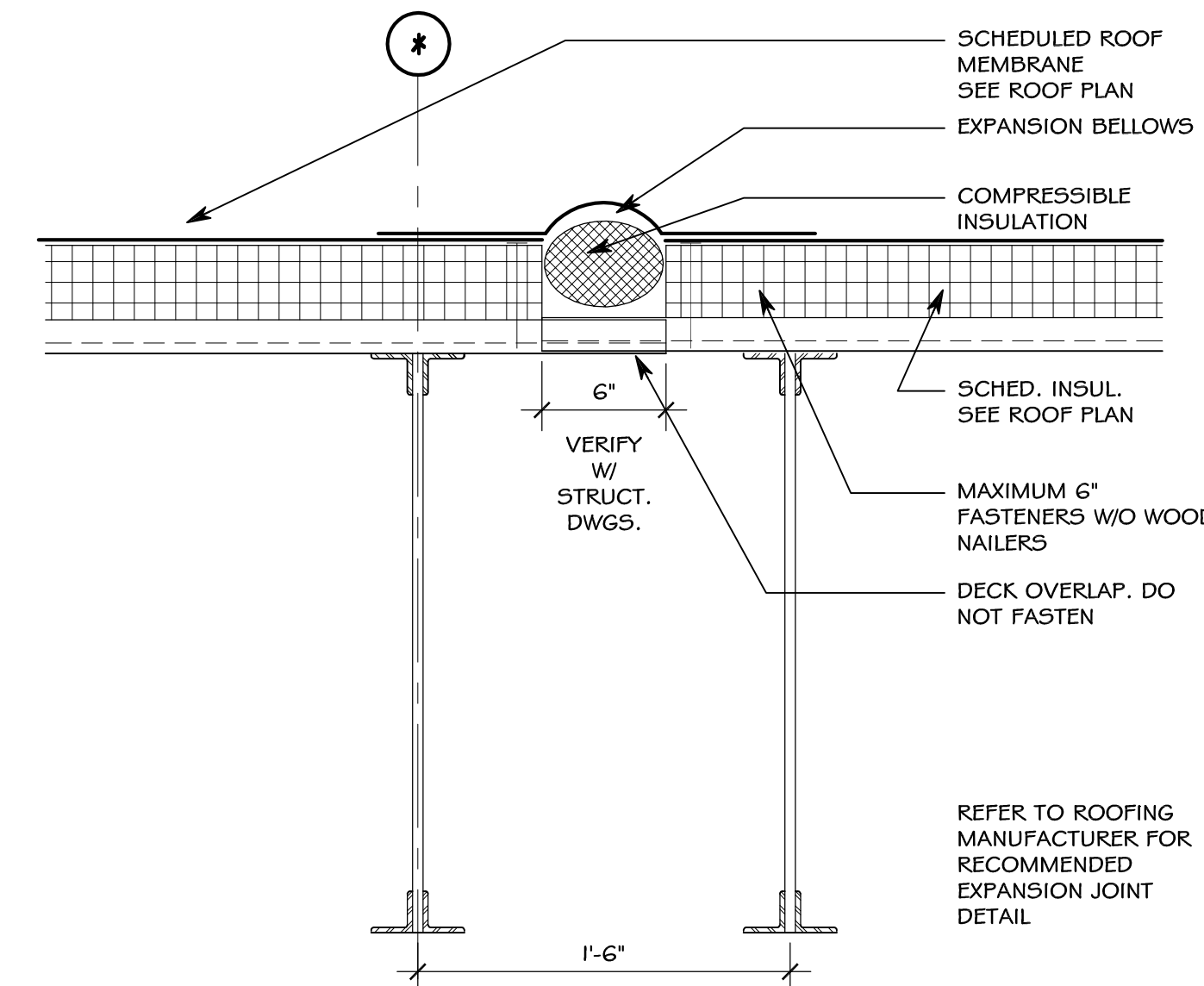
4 COPING JOINT DETAIL
A2.6 SCALE: 1 1/2" = 1'-0"



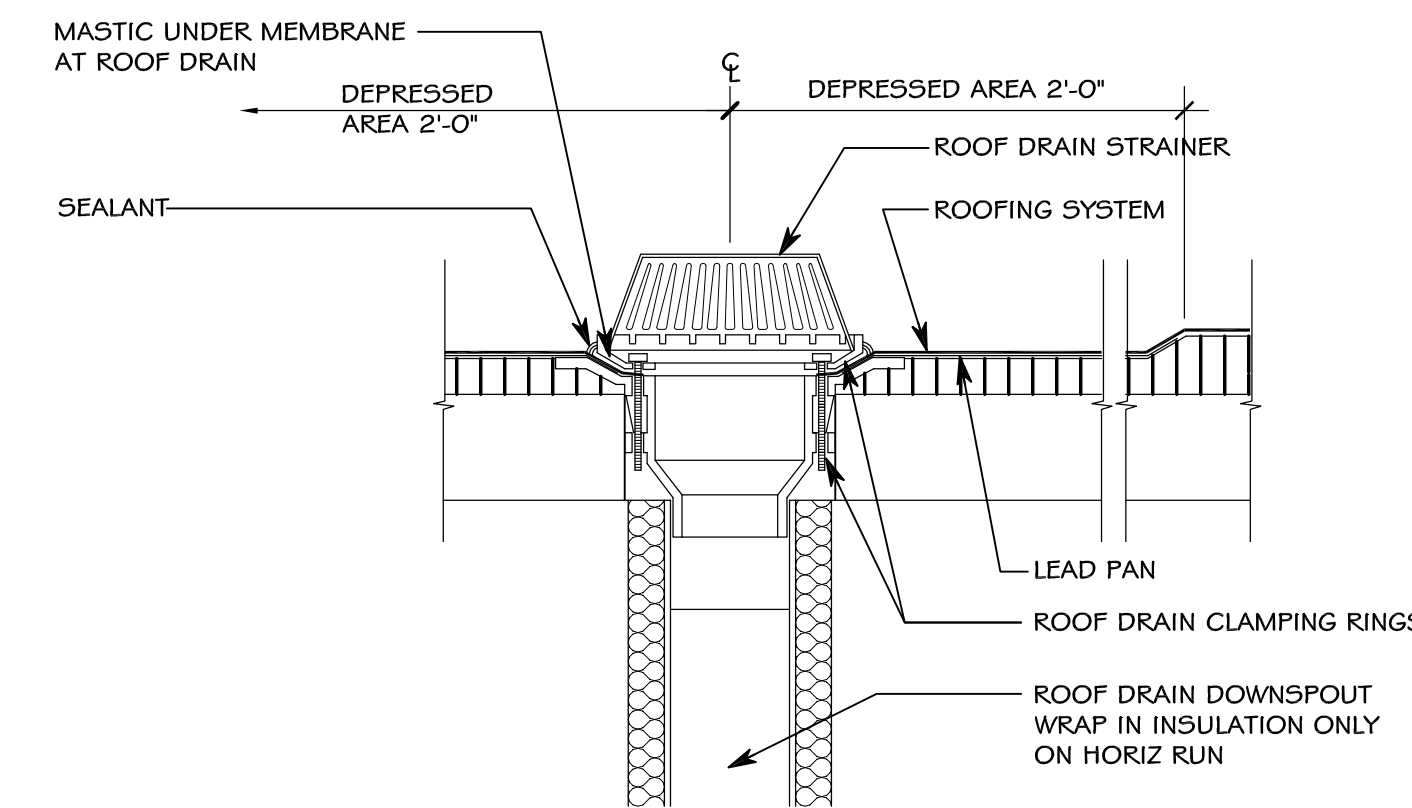
7 COPING EXPANSION JOINT DETAIL
A2.6 SCALE: 1 1/2" = 1'-0"



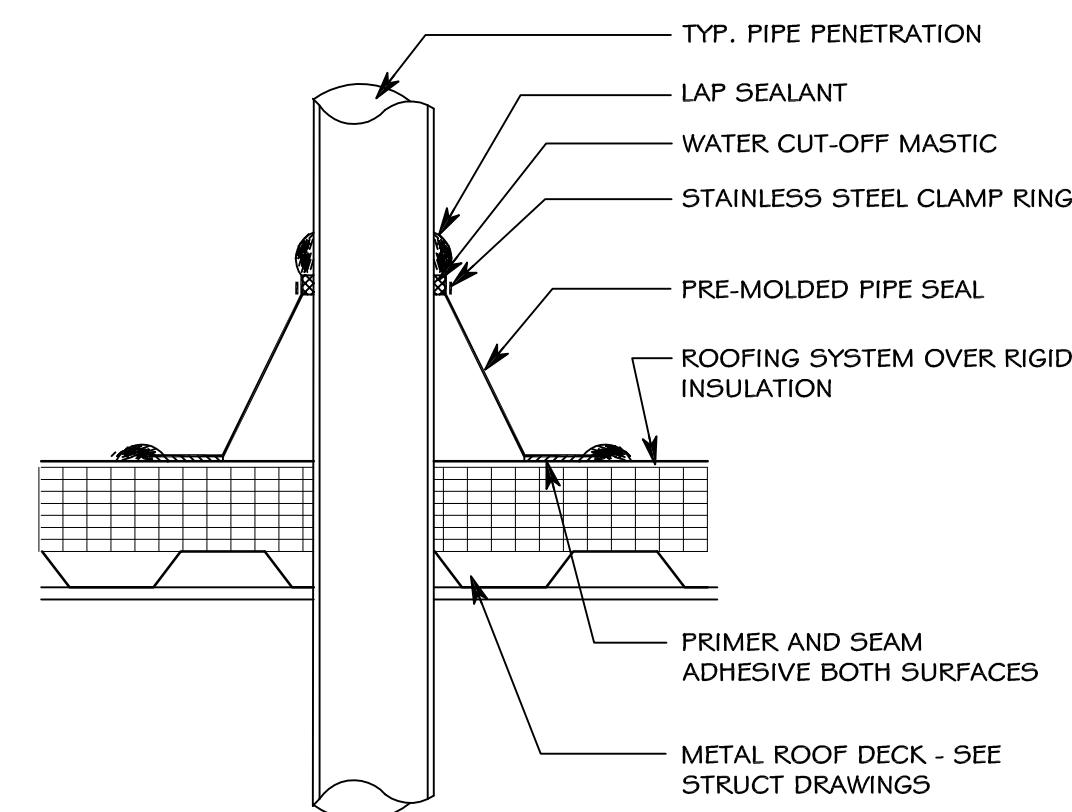
2 MECHANICAL CURB
A2.6 SCALE: 1 1/2" = 1'-0"



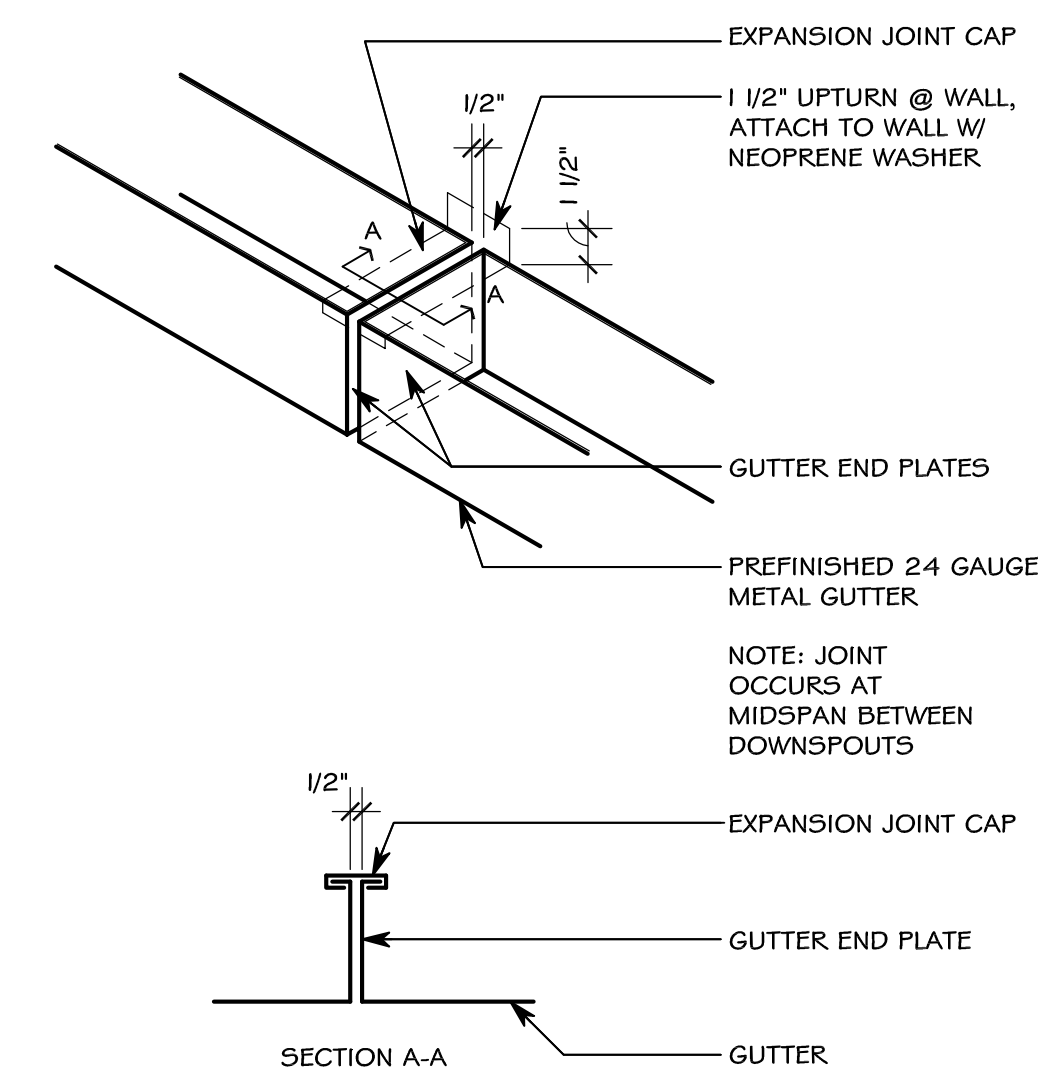
5 EXPANSION JOINT DETAIL
A2.6 SCALE: 1 1/2" = 1'-0"



8 ROOF DRAIN SECTION
A2.6 SCALE: 1 1/2" = 1'-0"



3 TYP. ROOF PENETRATION
A2.6 SCALE: 1 1/2" = 1'-0"



6 GUTTER SECTION
A2.6 SCALE: 1 1/2" = 1'-0"

PROJECT: **GOOODS GROUP**
10100 88TH AVENUE
PLEASANT PRAIRIE, WI 53158

ARCHITECT: **GMA**
900 NORTH ROCK HILL ROAD
ST. LOUIS, MISSOURI 63105
PH: 314.433.0714
WWW.GMA-ARCHITECTS.COM

CONTRACTOR: **ARCO MURRAY**
3110 WOODCREEK DRIVE
DOWNERS GROVE, IL 60515
WWW.ARCOMURRAY.COM

CONSULTING ENGINEERS:
SEHAGASY ASSOCIATES
3535 MADISON CENTER DRIVE
MADISON, WISCONSIN 53704
WWW.SEAASYS.COM
STRUCTURAL: MCKEAY ENGINEERING
11457 OLDE CABIN ROAD, SUITE 300
BANCHEAL, WISCONSIN 53511
MECHANICAL/ELECTRICAL: HOFFMAN ESTATES, IL 60192
STEPHEN TRIPPAHN

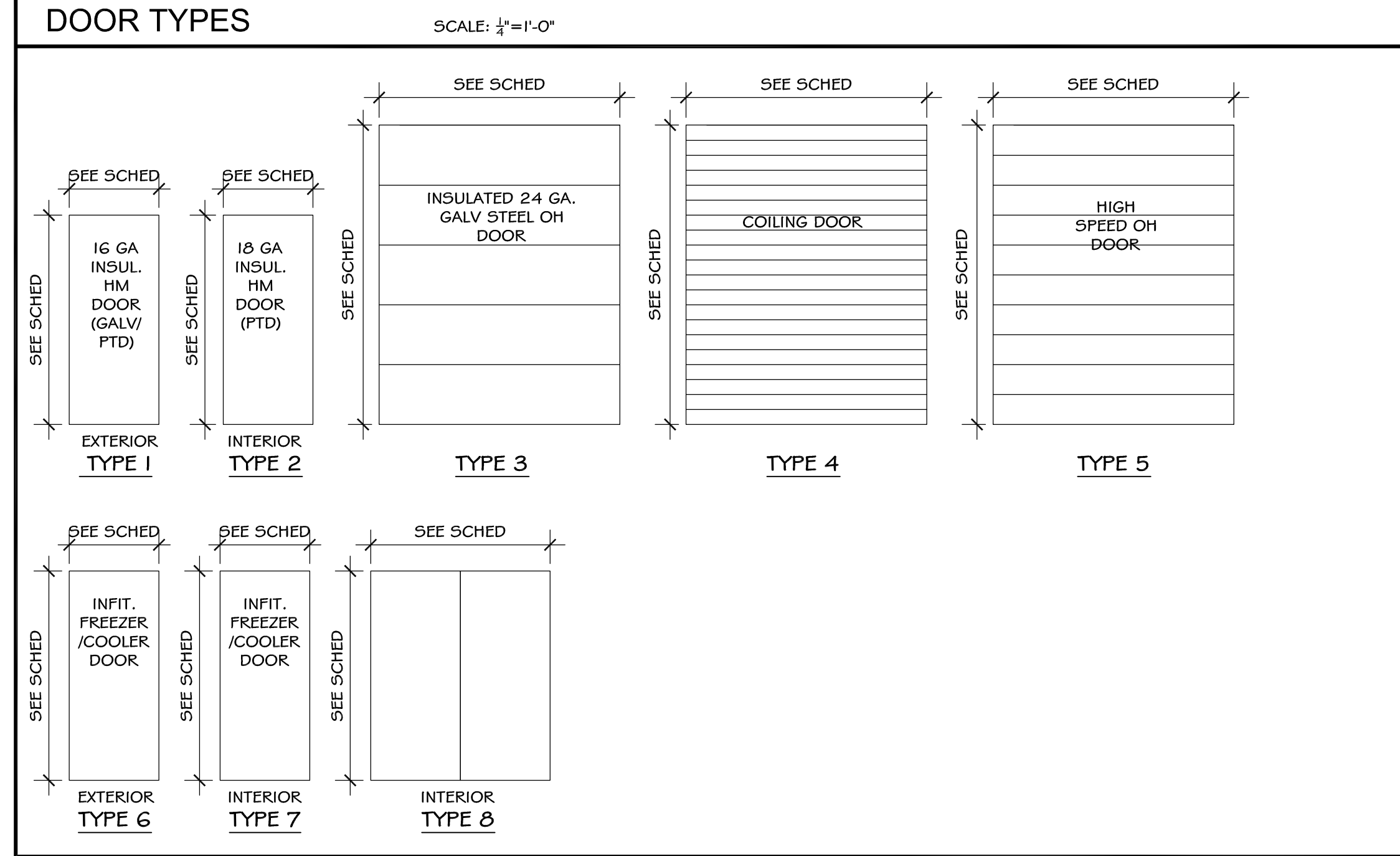
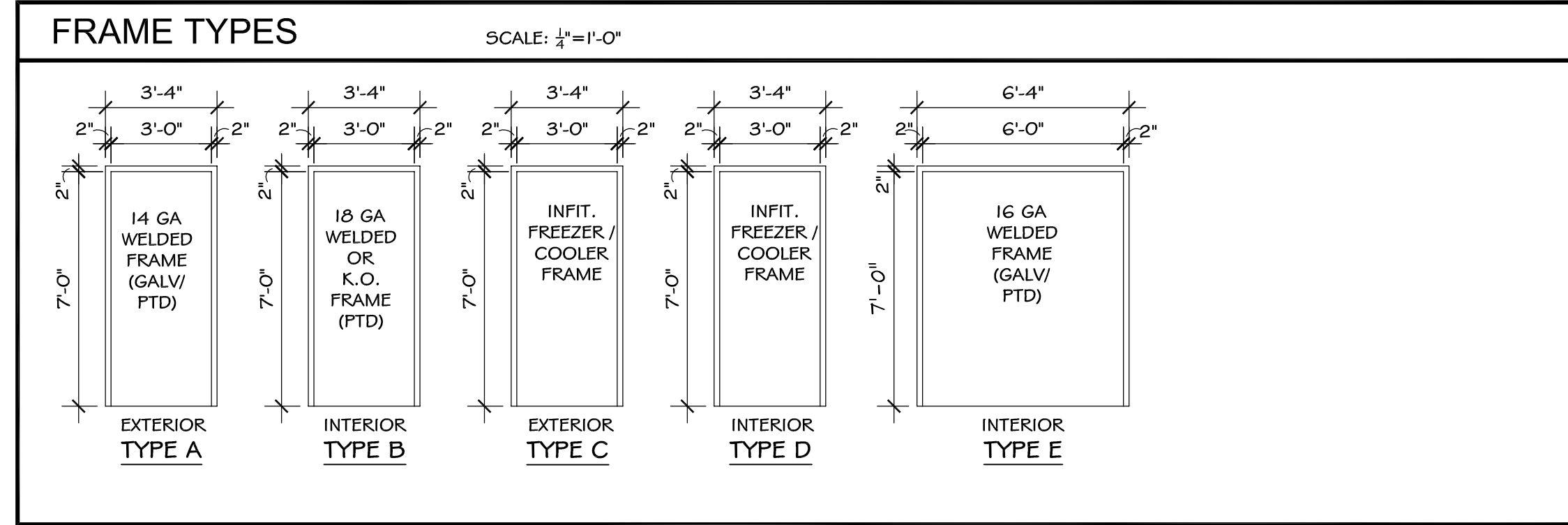
REFRIGERATION: COOLING EQUIPMENT SERVICES
141 GARLICK DRIVE
EVANSTON, ILLINOIS 60007
WWW.COOLINGSERVICES.COM

JOB NO : SJ1442
PA : ZUK
ISSUED FOR REVIEW-50% SET
DATE : 07.18.2014

REVISIONS Δ

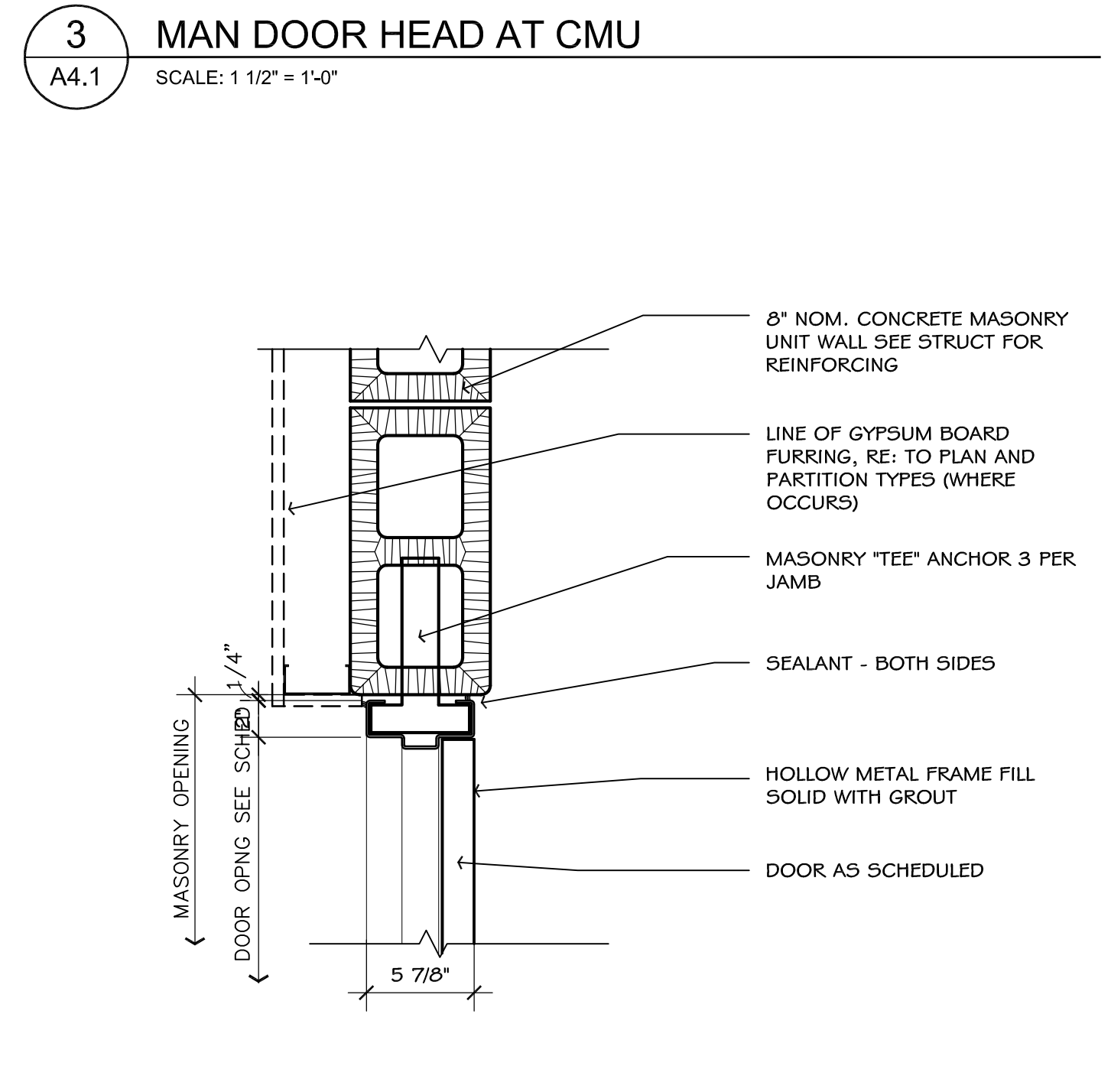
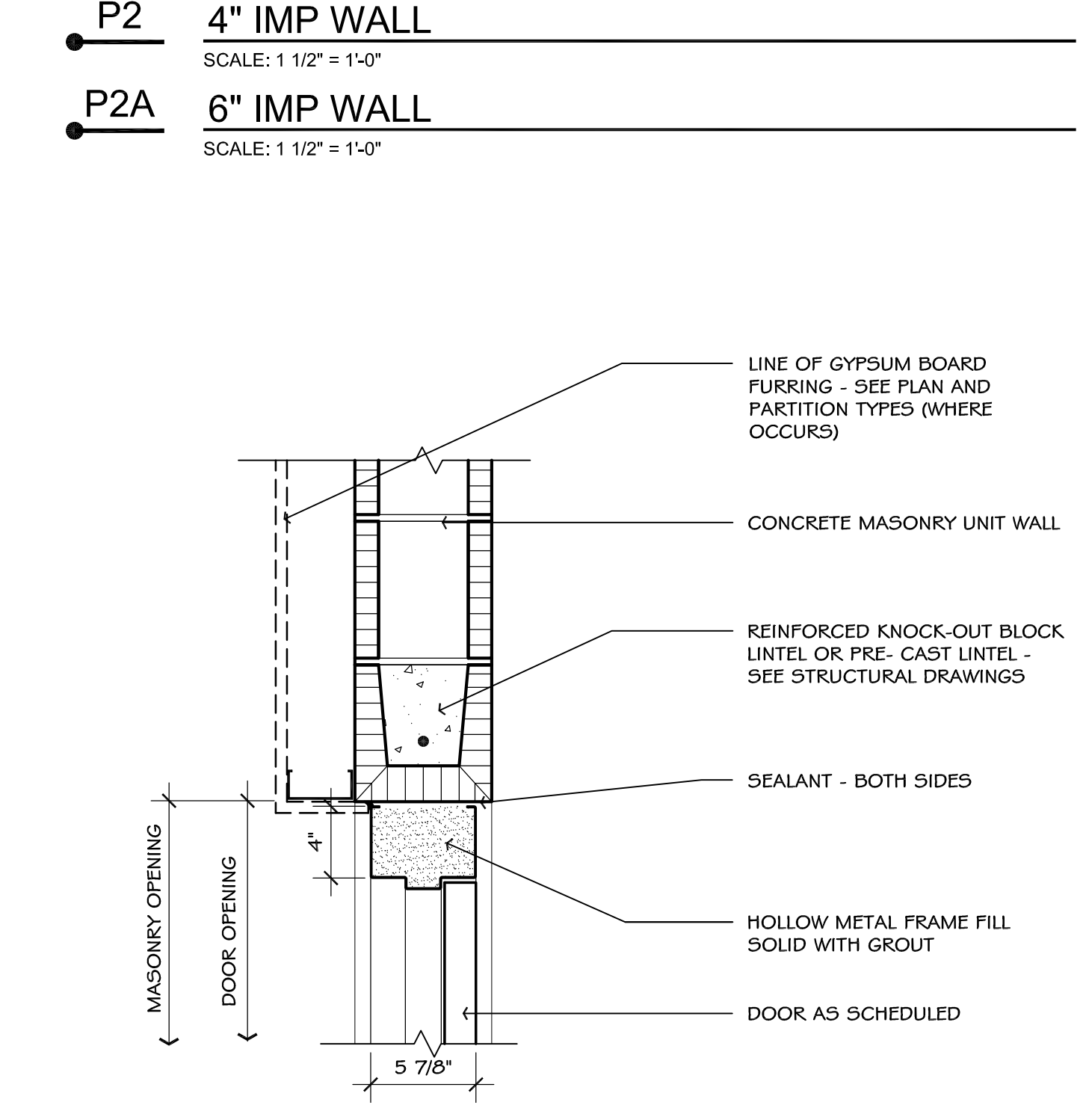
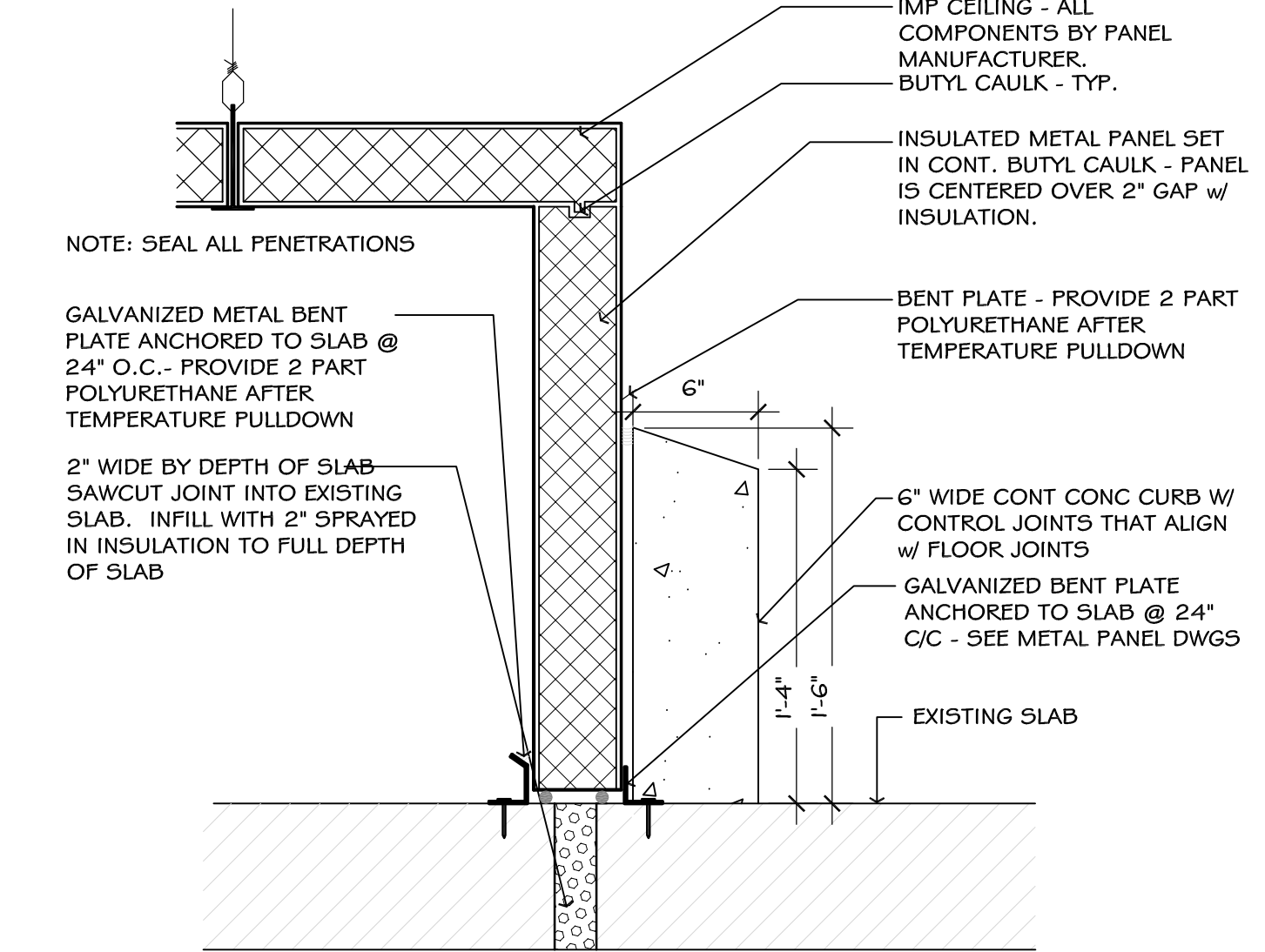
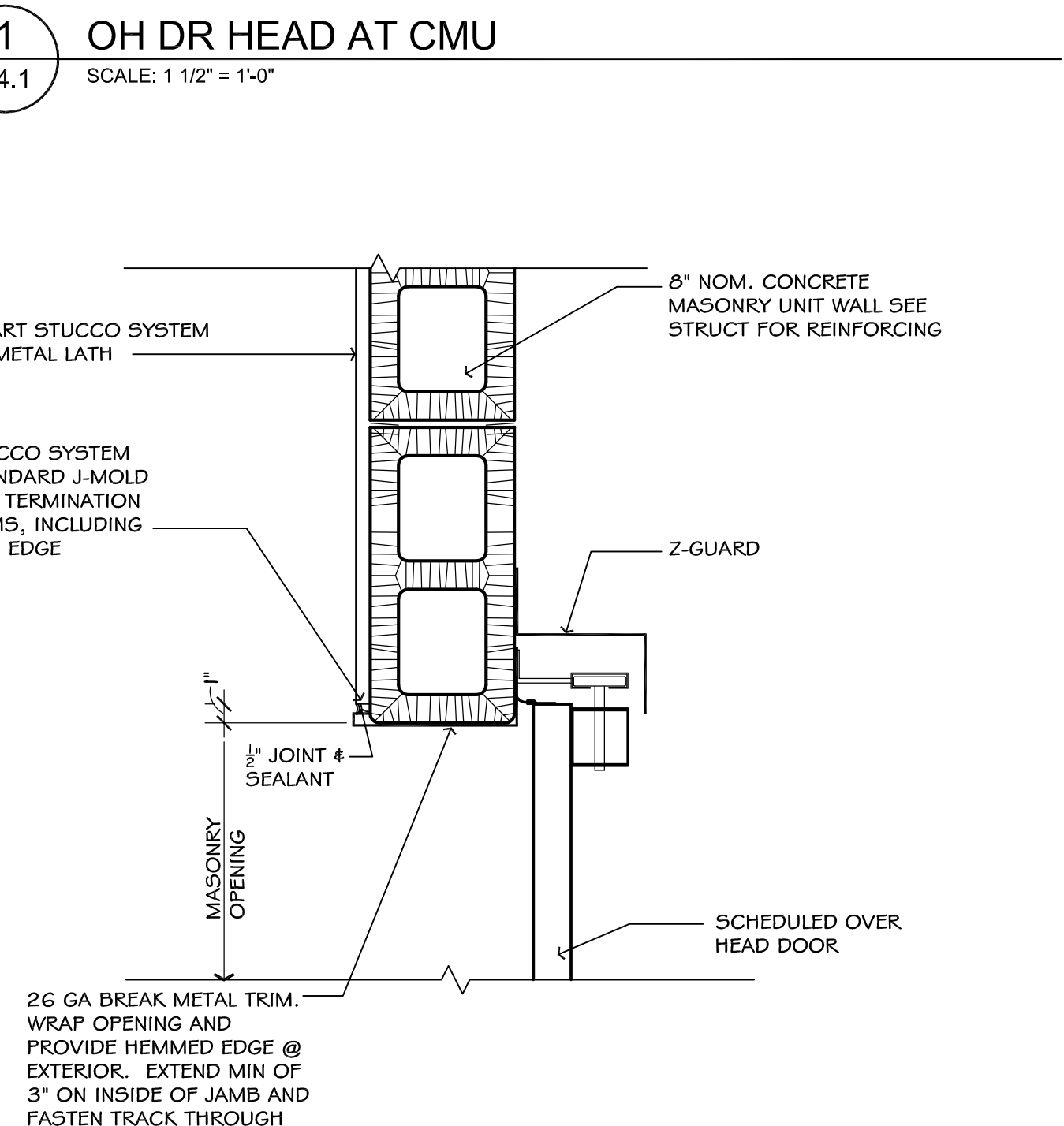
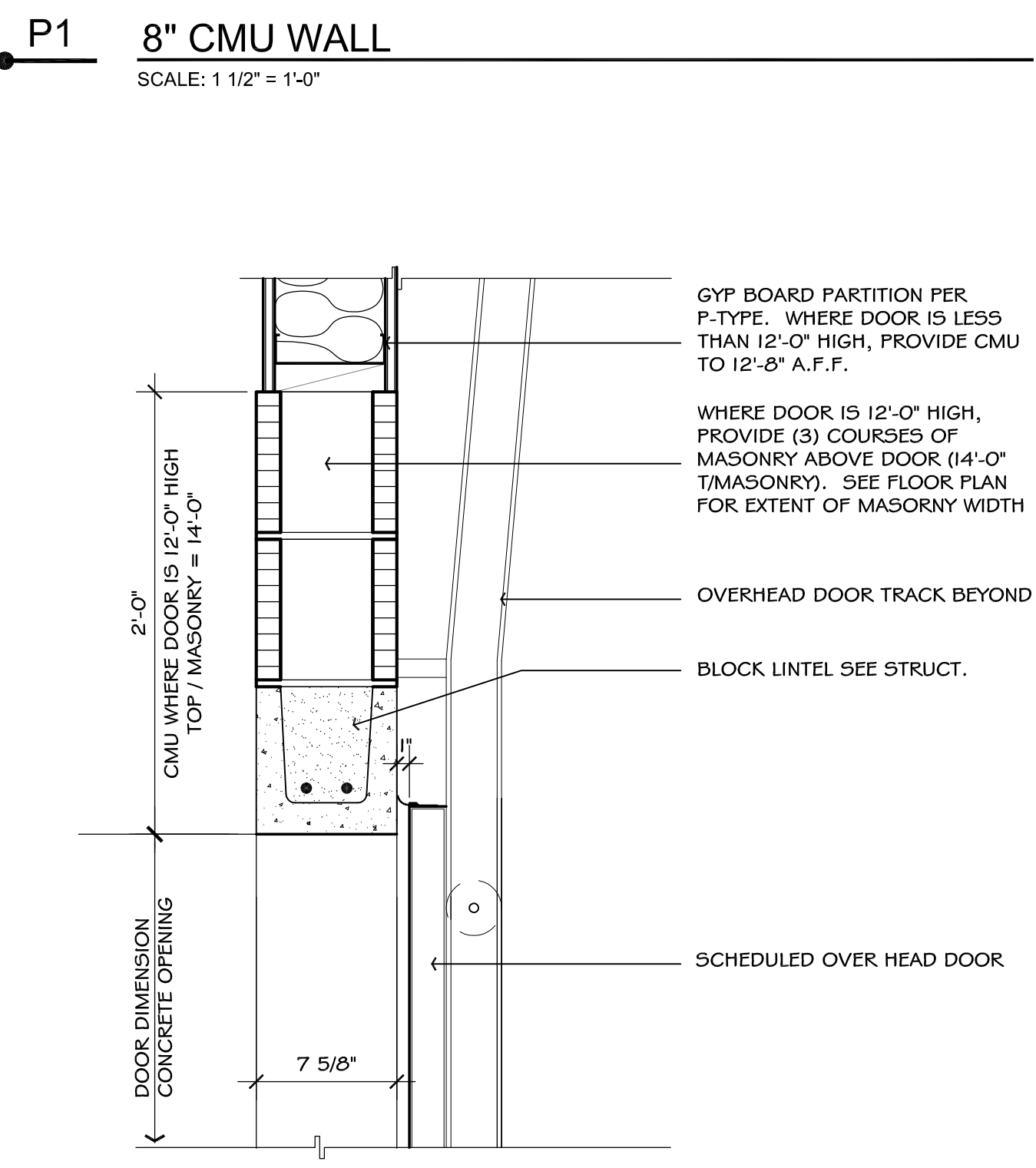
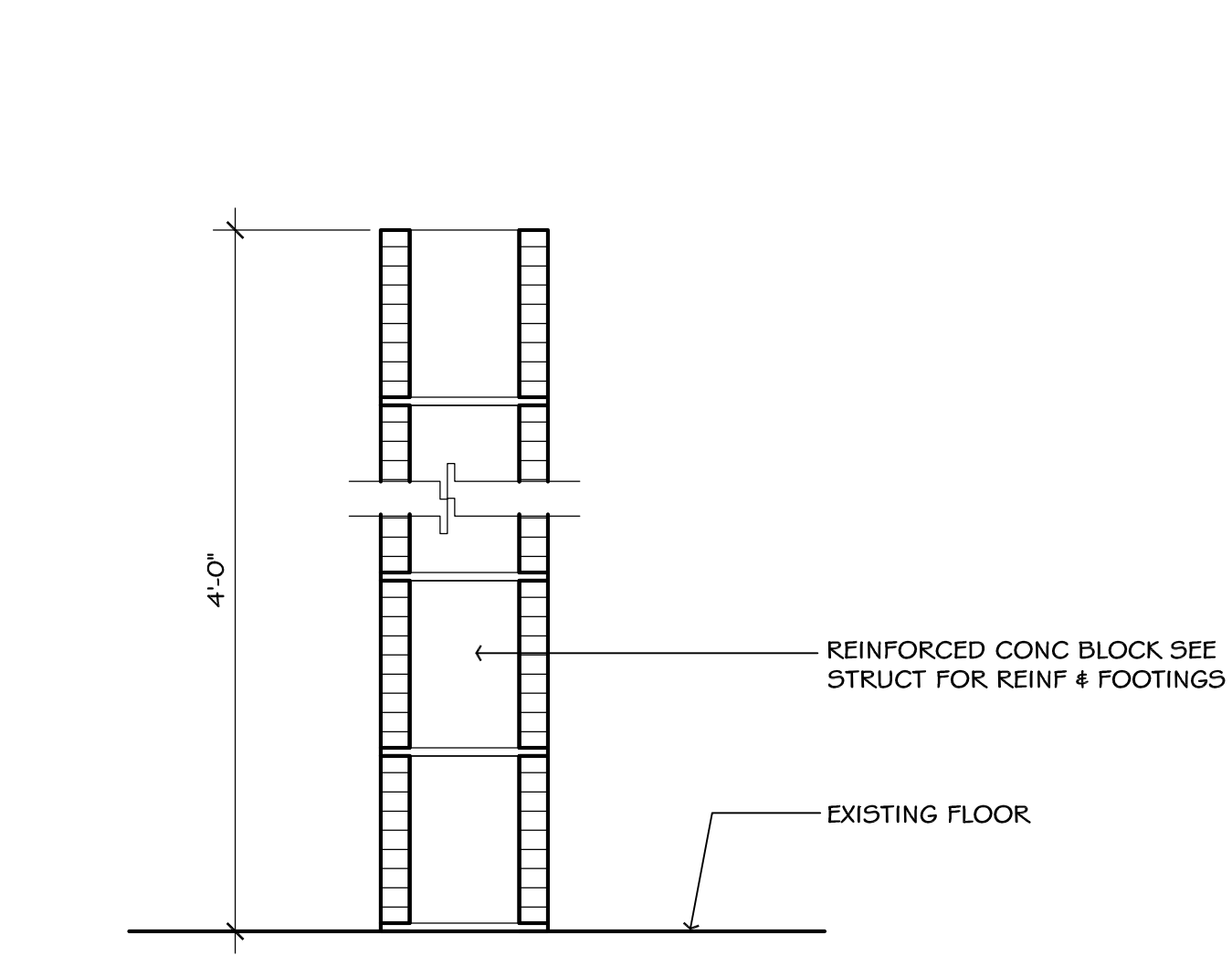
SHEET NUMBER
A2.6
ROOF DETAILS

DOOR SCHEDULE														
DOOR #	ROOM #	DOOR			FRAME		DETAILS			HDW GROUP	FIRE RATING	REMARKS		
		TYPE	MAT'L	HEIGHT	WIDTH	THICK.	TYPE	MAT'L	HEAD				JAMB	SILL
101A	101	4	--	16'-0"	20'-0"	--	--	--	--	--	2	--	----	
101B	101	1	HM	7'-0"	3'-0"	1 3/4"	A	HM	IQ/A4.2	IQ/A4.2	II/A4.2	1	--	----
102	102	1	HM	7'-0"	3'-0"	1 3/4"	A	HM	IQ/A4.2	IQ/A4.2	II/A4.2	1	--	----
103	103	1	HM	7'-0"	3'-0"	1 3/4"	A	HM	IQ/A4.2	IQ/A4.2	II/A4.2	1	--	----
104	104	8	HM	7'-0"	6'-0"	1 3/4"	E	HM	IQ/A4.2 5M.	IQ/A4.2 5M.	--	3	--	PR-3070 DOORS
105	105	X	X	X	X	X	X	X	X	X	X	2	--	----
106A	106	7	XX	7'-0"	3'-0"	1 3/4"	D	XX	O/A.O.	O/A.O.	O/A.O.	2	--	----
106B	106	--	--	10'-0"	8'-0"	--	--	--	O/A.O.	O/A.O.	O/A.O.	2	--	RYTEC PRED A DOOR OR APPROVED EQUAL
106C	106	--	--	10'-0"	8'-0"	--	--	--	O/A.O.	O/A.O.	O/A.O.	2	--	RYTEC PRED A DOOR OR APPROVED EQUAL
106D	106	1	HM	7'-0"	3'-0"	1 3/4"	A	HM	IQ/A4.2	IQ/A4.2	II/A4.2	1	--	----
106E	106	4	--	12'-0"	12'-0"	--	--	--	O/A.O.	O/A.O.	O/A.O.	2	--	----
106F	106	7	XX	7'-0"	3'-0"	1 3/4"	D	XX	O/A.O.	O/A.O.	O/A.O.	2	--	----
106G	106	5	--	10'-0"	8'-0"	--	--	--	O/A.O.	O/A.O.	O/A.O.	2	--	RYTEC PRED A DOOR OR APPROVED EQUAL
107A	107	5	--	10'-0"	8'-0"	--	--	--	O/A.O.	O/A.O.	O/A.O.	2	--	RYTEC PRED A DOOR OR APPROVED EQUAL
107B	107	7	XX	7'-0"	3'-0"	1 3/4"	D	XX	O/A.O.	O/A.O.	O/A.O.	2	--	----
107C	107	7	XX	7'-0"	3'-0"	1 3/4"	D	XX	O/A.O.	O/A.O.	O/A.O.	2	--	----
107D	107	5	--	10'-0"	8'-0"	--	--	--	O/A.O.	O/A.O.	O/A.O.	2	--	RYTEC PRED A DOOR OR APPROVED EQUAL
108A	108	7	XX	7'-0"	3'-0"	1 3/4"	X	XX	O/A.O.	O/A.O.	O/A.O.	XX	--	----
108B	108	5	--	10'-0"	8'-0"	--	--	--	O/A.O.	O/A.O.	O/A.O.	2	--	RYTEC PRED A DOOR OR APPROVED EQUAL
108C	108	5	--	10'-0"	8'-0"	--	--	--	O/A.O.	O/A.O.	O/A.O.	2	--	RYTEC PRED A DOOR OR APPROVED EQUAL
108D	108	7	XX	7'-0"	3'-0"	1 3/4"	X	XX	O/A.O.	O/A.O.	O/A.O.	XX	--	----
109A	109	1	HM	7'-0"	3'-0"	1 3/4"	A	HM	IQ/A4.2	IQ/A4.2	II/A4.2	1	--	----
109B	109	1	HM	7'-0"	3'-0"	1 3/4"	A	HM	IQ/A4.2	IQ/A4.2	II/A4.2	1	--	----
109C	109	1	HM	7'-0"	3'-0"	1 3/4"	A	HM	IQ/A4.2	IQ/A4.2	II/A4.2	1	--	----
109D	109	--	--	10'-0"	8'-0"	--	--	--	O/A.O.	O/A.O.	O/A.O.	XX	--	RYTEC PRED A DOOR OR APPROVED EQUAL
109E	109	7	XX	7'-0"	3'-0"	1 3/4"	D	XX	O/A.O.	O/A.O.	O/A.O.	XX	--	----
110	110	5	--	10'-0"	8'-0"	--	--	--	O/A.O.	O/A.O.	O/A.O.	2	--	RYTEC PRED A DOOR OR APPROVED EQUAL
111A	111	1	HM	7'-0"	3'-0"	1 3/4"	A	HM	IQ/A4.2	IQ/A4.2	II/A4.2	1	--	----
111B	111	3	--	10'-0"	9'-0"	--	--	--	7/A4.2	O/A.O.	O/A.O.	2	--	----
111C	111	3	--	10'-0"	9'-0"	--	--	--	7/A4.2	O/A.O.	O/A.O.	2	--	----
111D	111	3	--	10'-0"	9'-0"	--	--	--	7/A4.2	O/A.O.	O/A.O.	2	--	----



- ### HARDWARE NOTES
- WHERE WALL STOPS ARE NOT PRACTICAL PROVIDE FLOOR STOPS (IVES 436B OR 438B OR EQUAL)
 - CYLINDRICAL LOCKS SHALL BE GRADE ONE. DEADBOLTS SHALL BE GRADE ONE WITH CYLINDER X LEVER OPERATION LOCK. ALL HARDWARE FINISH TO BE BRUSHED ALUMINUM.
 - ALL DOORS INDICATED AS EXIT DOORS ON LIFE SAFETY PLANS LSI.1 SHALL INCLUDE HARDWARE THAT ALLOWS OPERATION & EGRESS WITHOUT THE USE OF A KEY IN THE DIRECTION OF EGRESS INDICATED BY THE EXIT SIGN ARROWS AND SHALL RELEASE WITH A FORCE NOT TO EXCEED 8 1/2 POUNDS FOR EXTERIOR DOORS AND 5 POUNDS FOR INTERIOR DOORS.
 - PROVIDE HARDWARE AS REQUIRED FOR THE NORMAL OPERATION OF EACH DOOR.
 - PROVIDE A.D.A. APPROVED LEVER HANDLE ON ALL SWING (NON-OVERHEAD) DOORS. PROVIDE HAGER HEAVY DUTY SERIES (OR EQUAL) IN WAREHOUSE AREAS AND SCHLAGE MEDIUM DUTY SERIES (OR EQUAL) IN OFFICE AREAS.
 - ALL HARDWARE SHALL COMPLY WITH THE STATE OF WEST VIRGINIA ACCESSIBILITY CODE, LATEST EDITION.
 - CLOSERS SHALL BE LCN OR APPROVED EQUAL.
 - LOCKSET FUNCTION TO BE DETERMINED BY THE GENERAL CONTRACTOR AND APPROVED BY THE OWNER.
 - KEYING SHALL BE DETERMINED BY THE GENERAL CONTRACTOR AND APPROVED BY THE OWNER.
 - BALL BEARING HINGES SHALL HAVE NON-REMOVABLE PINS.
 - EXTERIOR DOORS SHALL BE PROVIDED WITH ANODIZED ALUMINUM THRESHOLDS WITH A MAXIMUM HEIGHT OF 1/2" AND BEVELED EDGE SLOPES NO GREATER THAN 1:12
 - PROVIDE ILLUMINATED EXIT SIGNS AS REQUIRED BY LOCAL CODE OFFICIALS/FIRE DEPARTMENT.
 - RATED DOORS AND FRAMES SHALL BEAR AN APPROVED LABEL INDICATING (1) THE RATING FOLLOWED BY THE LETTER "S", (2) THE MANUFACTURER AND (3) THE NAME OF THE

- ### HARDWARE SCHEDULE
- GROUP #1
 1 PR BUTTS
 1 ENTRANCE LOCKSET
 1 CLOSER
 1 SET OF WEATHERSTRIPPING
 1 THRESHOLD
 1 HEAD DRIP STRIP
 1 LOCKSHIELD
- GROUP #2
 HARDWARE BY DOOR MANUFACTURER
- GROUP #3



COOLING EQUIPMENT SERVICES
 141 GARLICK DRIVE
 ELK GROVE VILLAGE, IL 60007
 WWW.COOLINGSERVICES.COM

REFRIGERATION:
 CONSULTING ENGINEERS
 SEHAGASY ASSOCIATES
 3535 MADISON CENTER DRIVE
 MCLEANSVILLE, IL 62450
 MCDONALDSON@SEHAGASY.COM
 MCNEELY ENGINEERING
 11457 OLDE CABIN ROAD, SUITE 300
 BANCHEAL, IL 62420
 BANCHEAL@MCNEELY-ENG.COM
 WATMECHANICAL
 HOFFMAN ESTATES, IL 60192
 STEPHEN TRIPPAHN

STRUCTURAL:
 JMECHIELECF@GMAIL.COM

CONTRACTOR
 ARCO MURRAY
 3110 WOODCREEK DRIVE
 DOWNERS GROVE, IL 60515
 WWW.ARCOMURRAY.COM

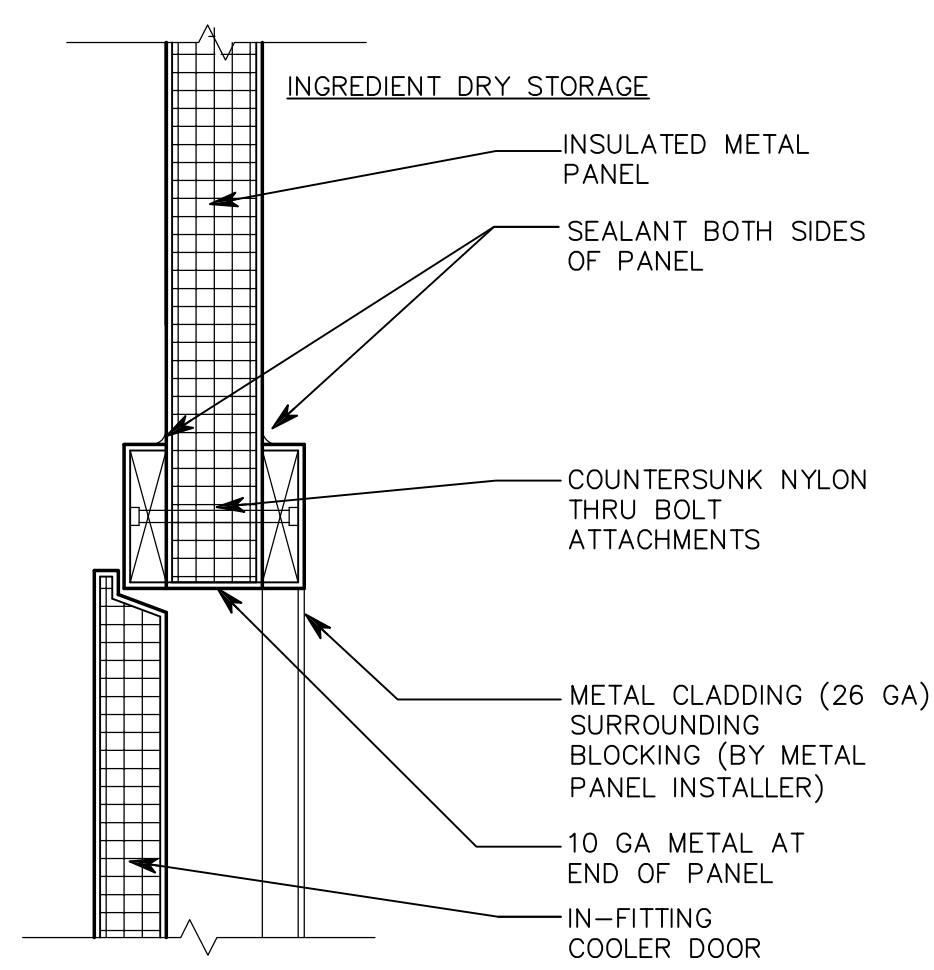
ARCHITECT
 GMAA
 900 NORTH ROCK HILL ROAD
 ROCKFORD, IL 61103
 WWW.GMAA-ARCHITECTS.COM

PROJECT
 GODFRODS GROUP
 10100 88TH AVENUE
 PLEASANT PRAIRIE, WI 53158

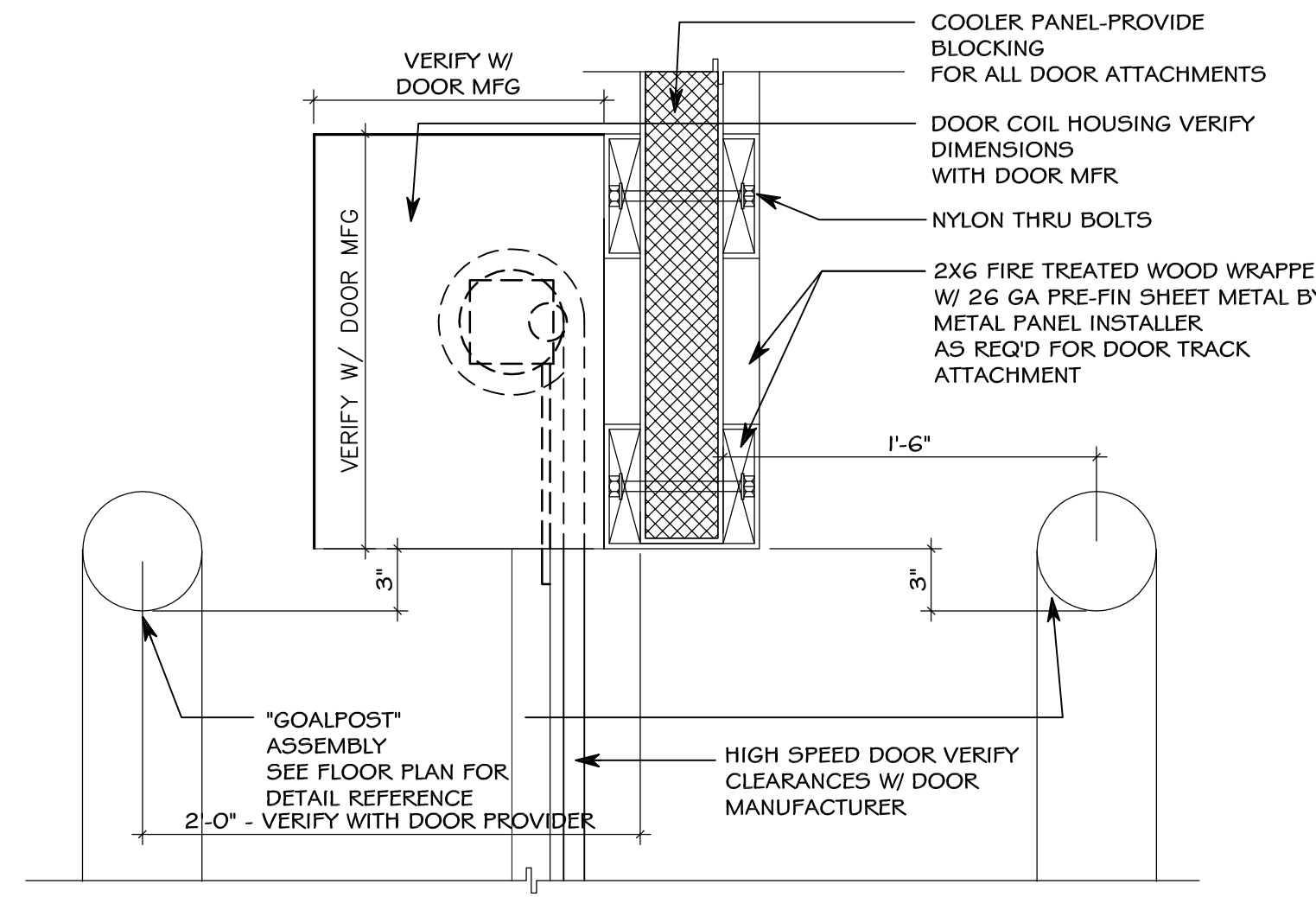
JOB NO : SJ1442
 PA : ZUK
 ISSUED FOR REVIEW-50% SET
 DATE : 07.18.2014

REVISIONS

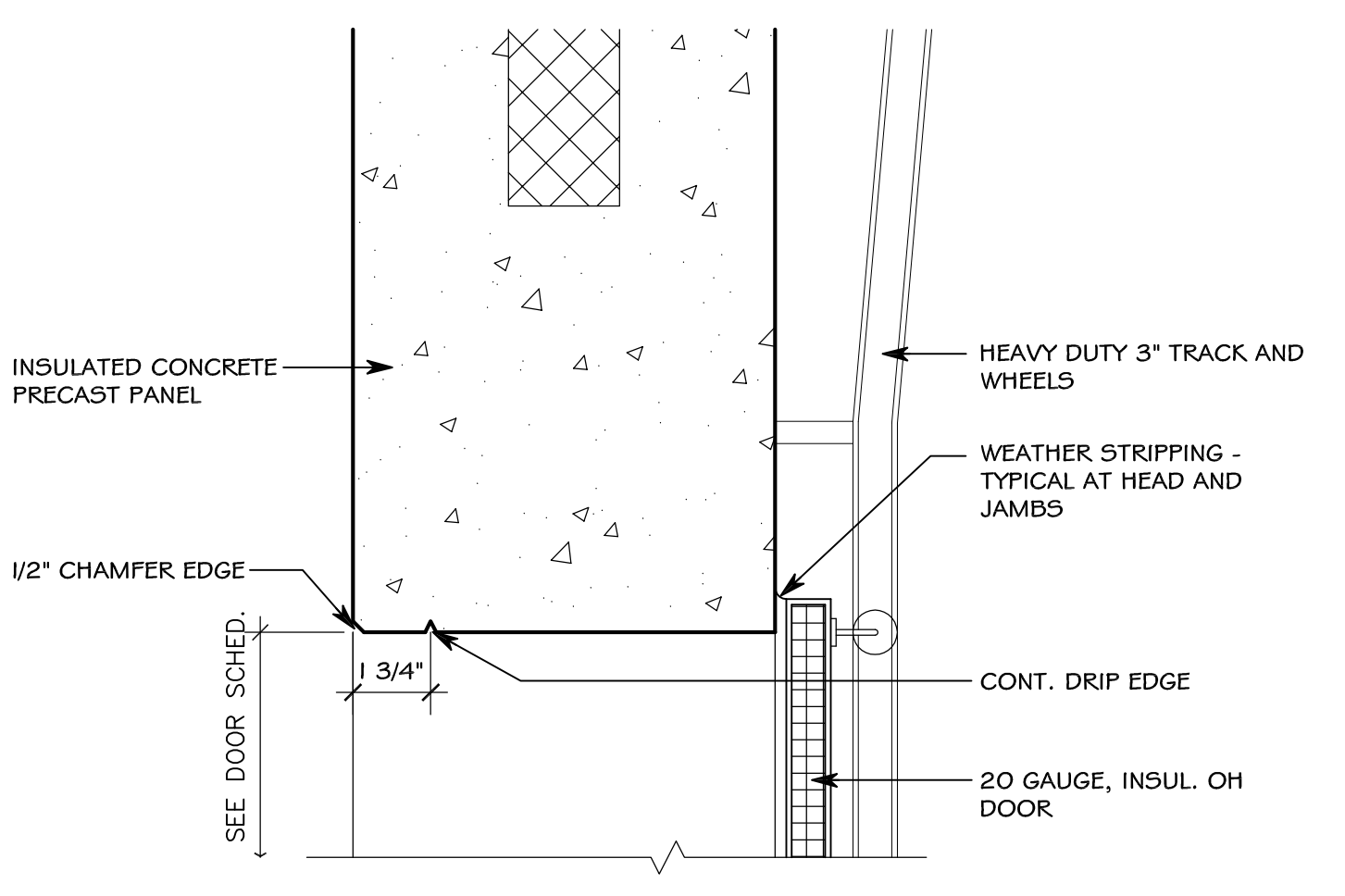
SHEET NUMBER
A4.1
 DOOR SCHEDULE & DETAILS



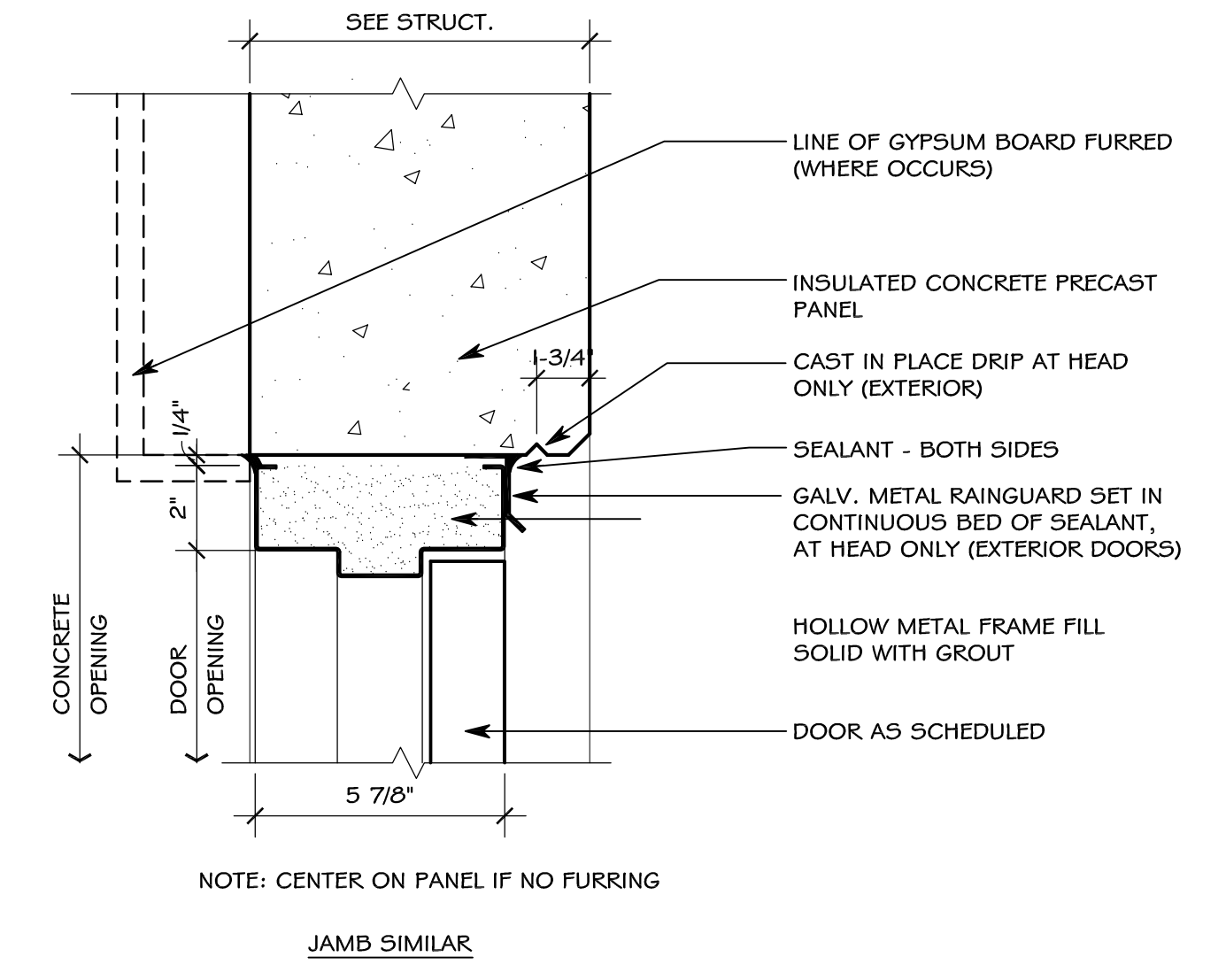
1 IMP DOOR HEAD
A4.2 SCALE: 1 1/2" = 1'-0"



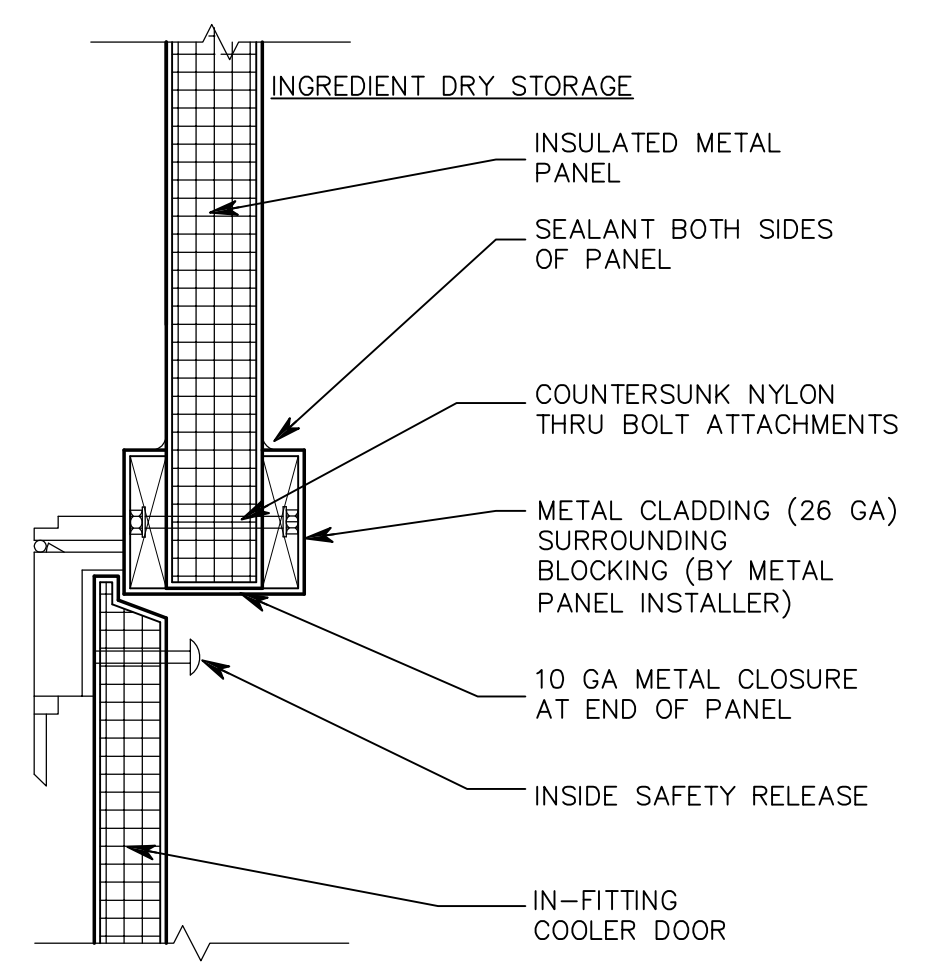
4 HIGH-SPEED DOOR DETAIL
A4.2 SCALE: 1 1/2" = 1'-0"



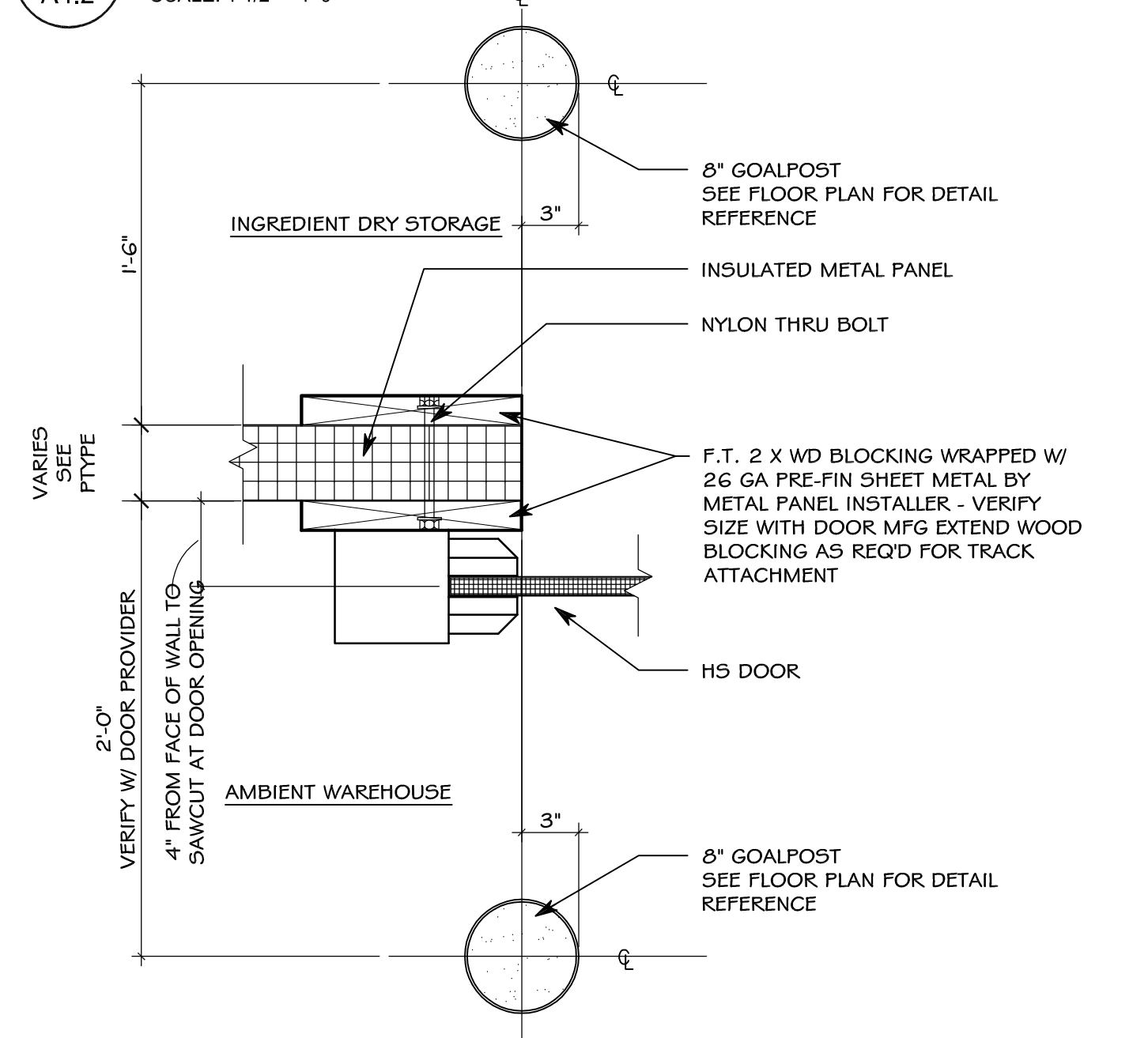
7 OVERHEAD DOOR HEAD DETAIL
A4.X SCALE: 3" = 1'-0"



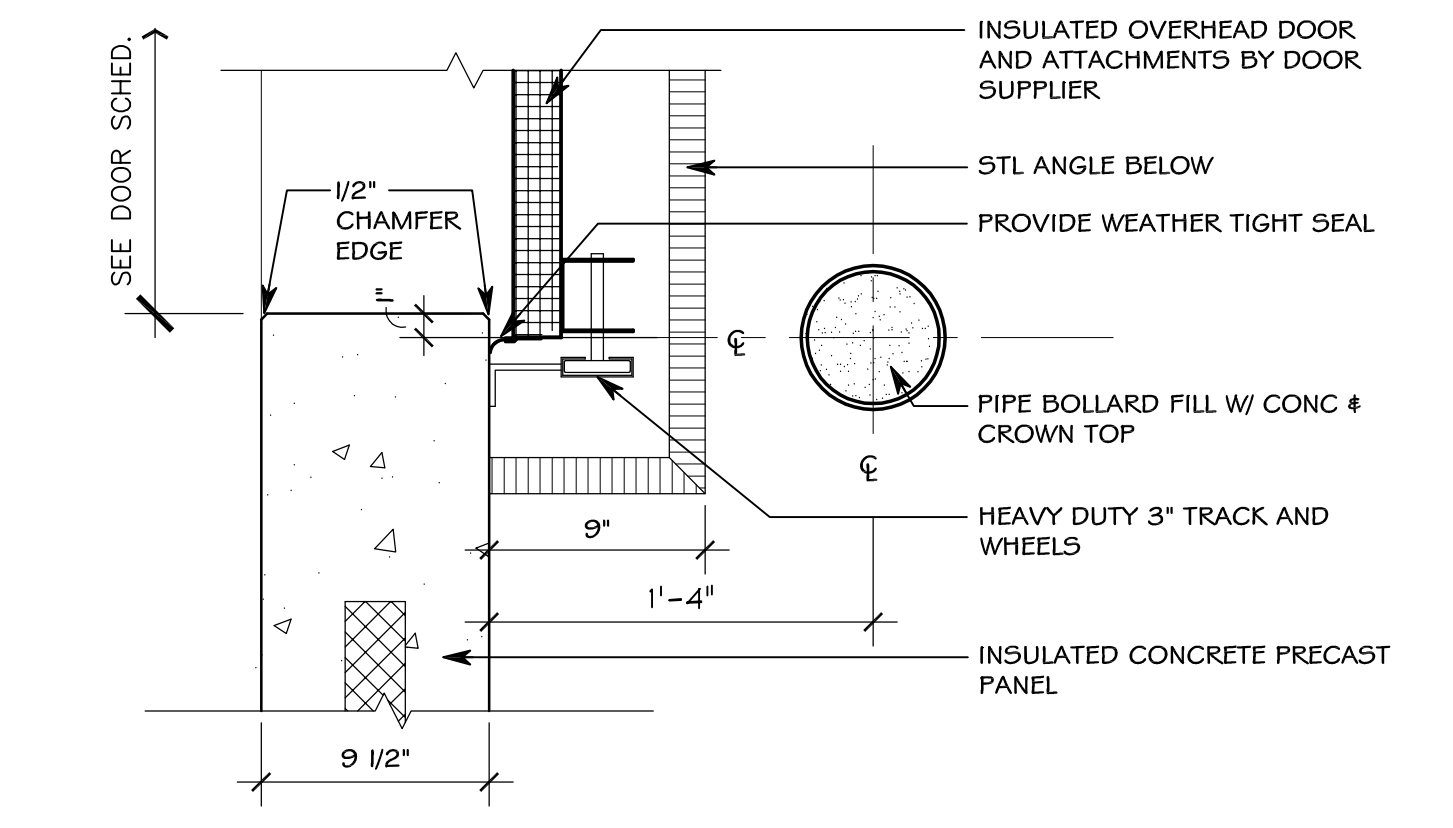
10 HEAD/JAMB DETAIL @ PRECAST
A4.X SCALE: 3" = 1'-0"



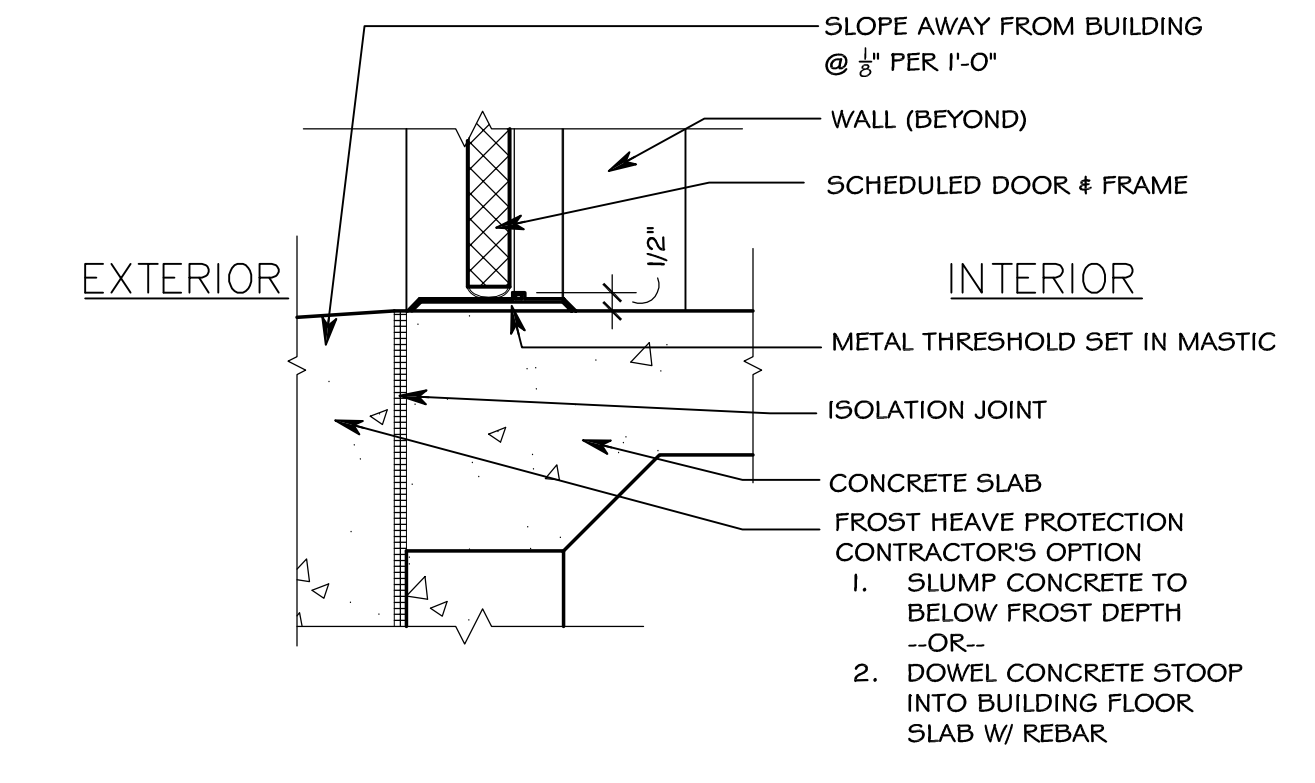
2 IMP DOOR JAMB
A4.2 SCALE: 1 1/2" = 1'-0"



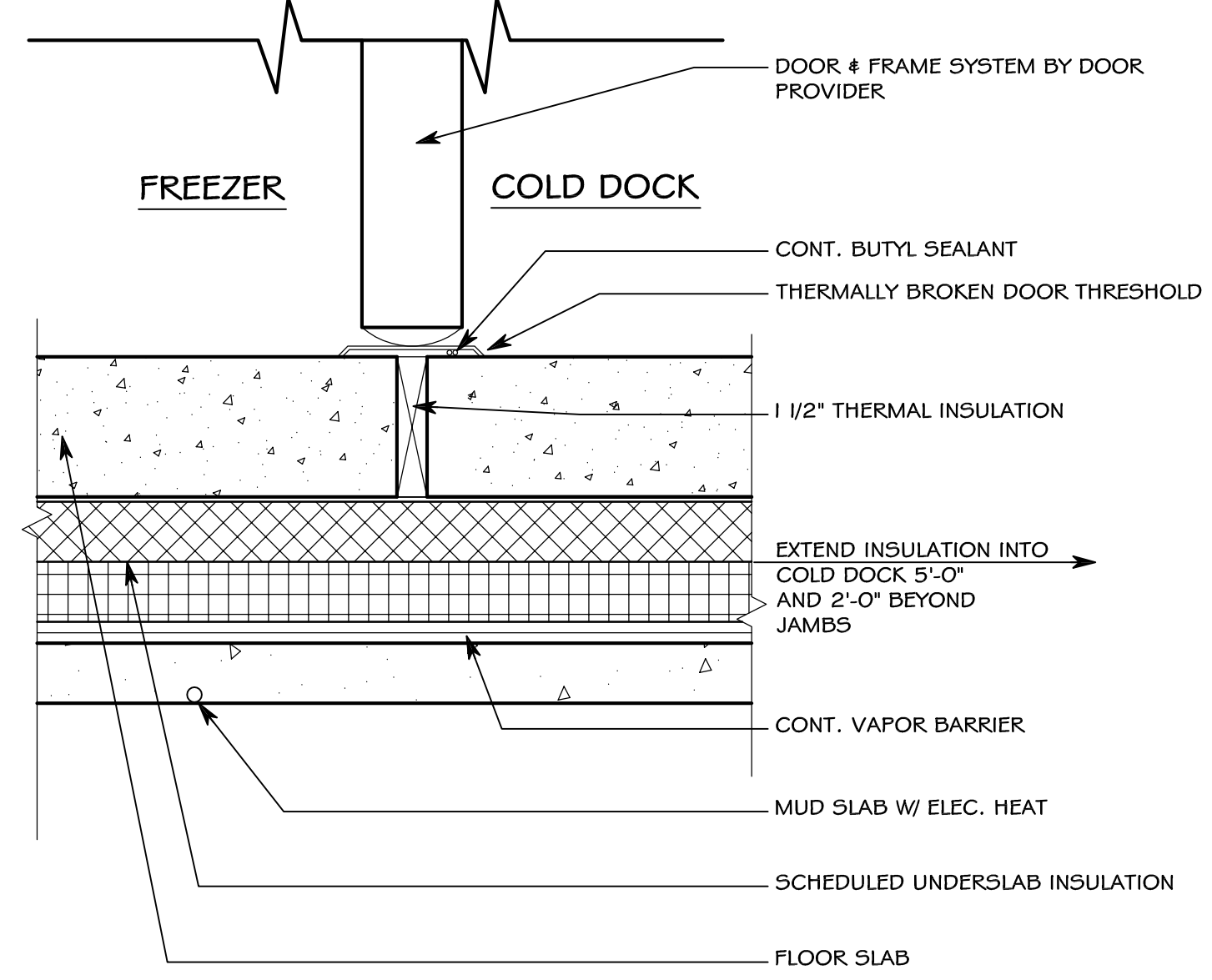
5 HIGH-SPEED DOOR JAMB DETAIL
A4.2 SCALE: 1 1/2" = 1'-0"



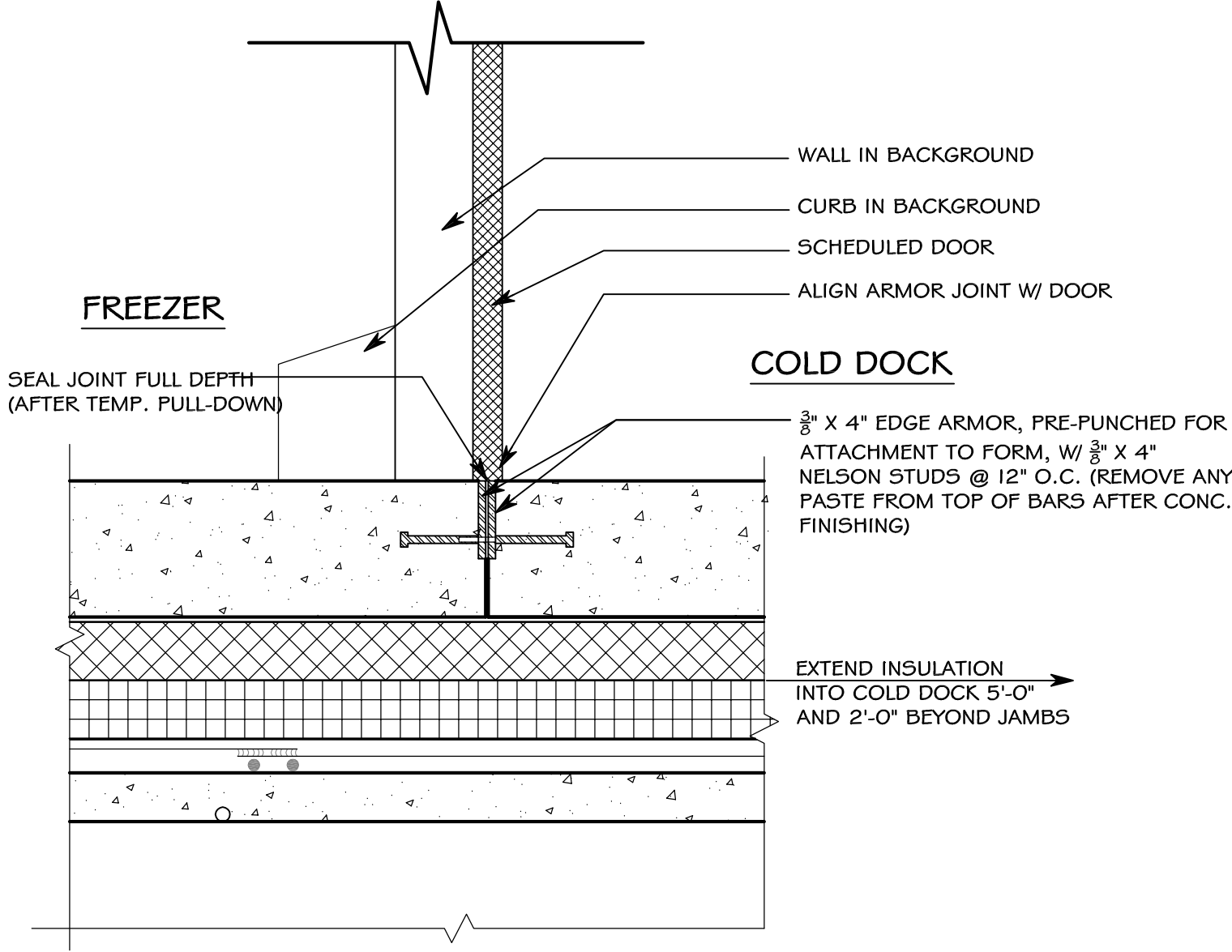
8 DRIVE-IN DOOR JAMB DETAIL
A4.X SCALE: 1 1/2" = 1'-0"



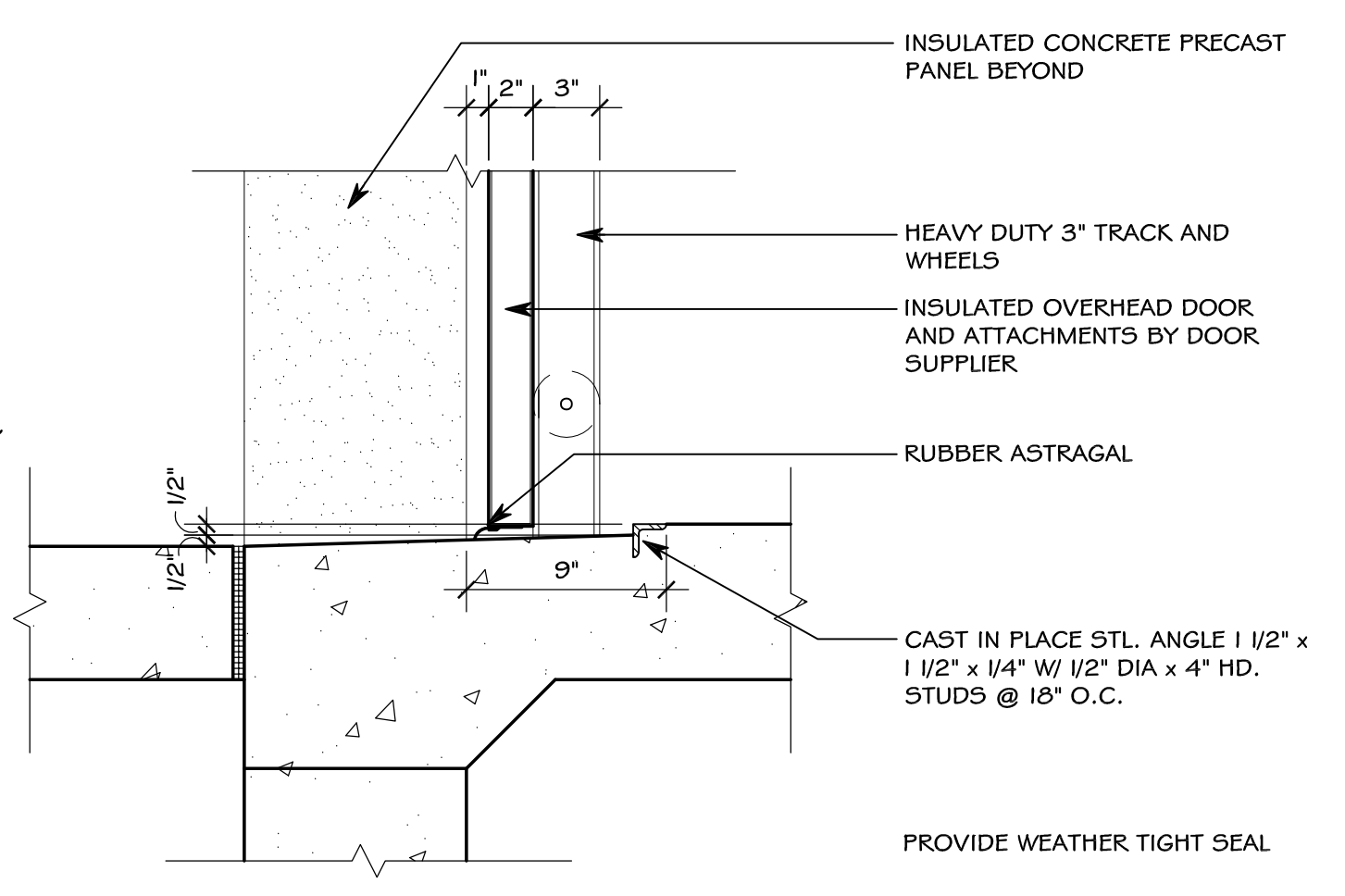
11 EXTERIOR MAN DOOR SILL AT CONCRETE
A4.2 SCALE: 1 1/2" = 1'-0"



3 MAN DOOR SILL DETAIL
A4.2 SCALE: 1 1/2" = 1'-0"



6 INTERIOR HS DOOR SILL DETAIL
A4.2 SCALE: 1 1/2" = 1'-0"



9 DRIVE-IN DOOR SILL DETAIL
A4.X SCALE: 1 1/2" = 1'-0"

CONSULTING ENGINEERS
 SOLE: SEHAGASY ASSOCIATES
 3535 MADISON CENTER DRIVE
 MADISON, WI 53711
 WWW.SEHAGASY.COM
 STRUCTURAL: MCNEAL Y ENGINEERING
 11457 OLDE CABIN ROAD, SUITE 300
 BANCHEAL, WI 53511
 WWW.MCNEALY-ENG.COM
 MECH/ELECTRICAL: WIT MECHANICAL
 HOFFMAN ESTATES, IL 60182
 STEPHEN TRIPPAHN

ARCHITECT
GMA
 ARCHITECTS
 900 NORTH ROCK HILL ROAD
 DUNBAR, ILLINOIS 60130
 (630) 488-9888 FAX: (630) 488-0714
 WWW.GMA-ARCHITECTS.COM

CONTRACTOR
ARCO MURRAY
 3110 WOODCREEK DRIVE
 DOWNERS GROVE, IL 60515
 WWW.ARCOMURRAY.COM

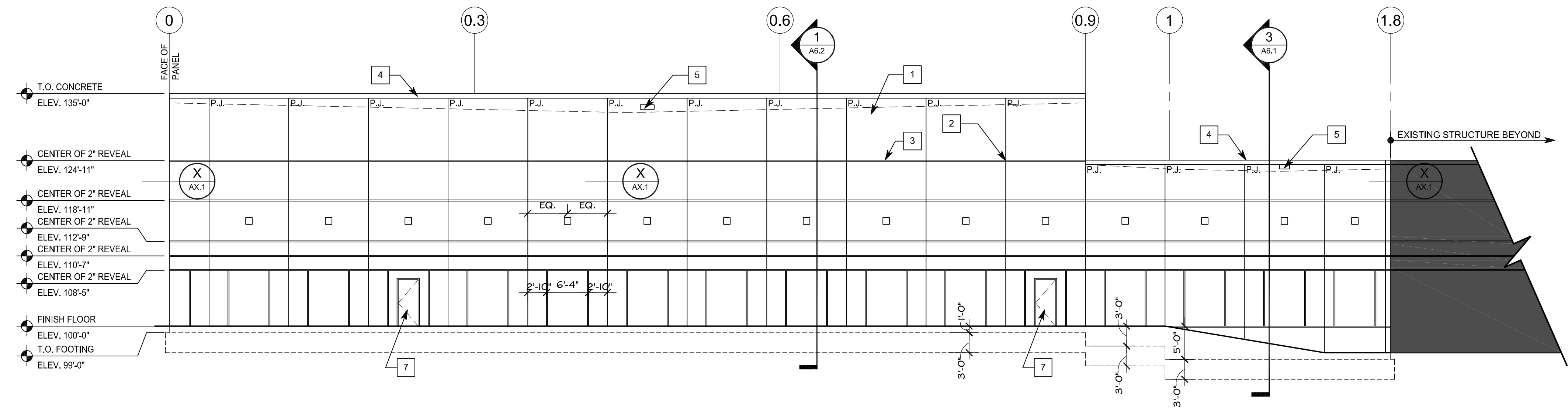
PROJECT
GODFRODS GROUP
 10100 88TH AVENUE
 PLEASANT PRAIRIE, WI 53158

JOB NO : SJ1442
 PA : ZUK
 ISSUED FOR REVIEW-50% SET
 DATE : 07.18.2014

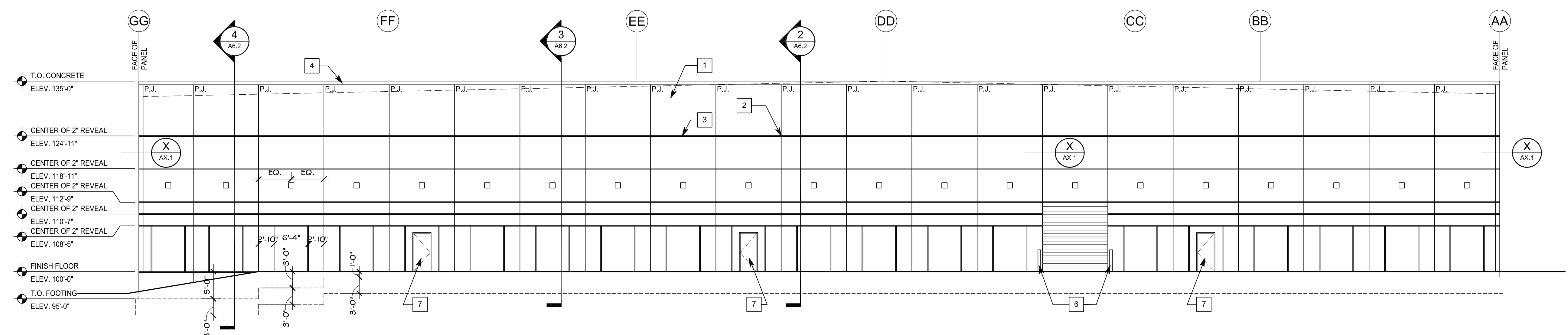
REVISIONS

SHEET NUMBER
A4.2
 DOOR DETAILS

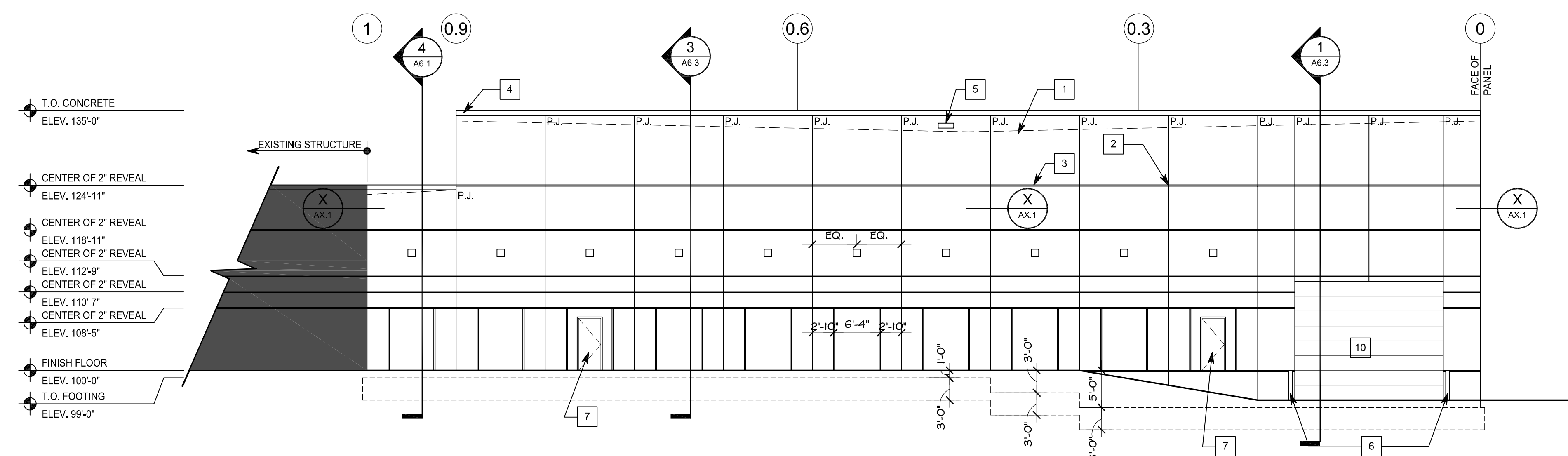
ELEVATION KEYNOTES	
1	INSULATED PRECAST CONCRETE PANELS TO MATCH EXISTING WALLS. REVEAL HEIGHTS & PAINT COLOR TO MATCH EXISTING.
2	1 3/4" VERTICAL REVEAL TO MATCH EXISTING
3	4" HORIZONTAL REVEAL TO MATCH EXISTING
4	24 GA. PREFIN. GALV. SHEET METAL COPING W/ KYNAR 500 FINISH OR EQUAL COLOR TO MATCH EXISTING COPING
5	PREFIN. METAL OVERFLOW SCUPPER - SEE SHEET AX.X FOR ADDITIONAL INFO.
6	6" DIA. PTD. METAL CONCRETE FILLED BOLLARDS PER DETAIL X/AX.X - SEE STRUCTURAL
7	PTD. HM. DOOR & FRAME - SEE SCHEDULE
8	O.H. DOOR - SEE SCHEDULE
9	EDGE OF DOCK LEVELERS, DOCK BUMPERS, AND DOCK SEALS PER OUTLINE SPEC.
10	VERTICAL LIFT OVERHEAD DOOR



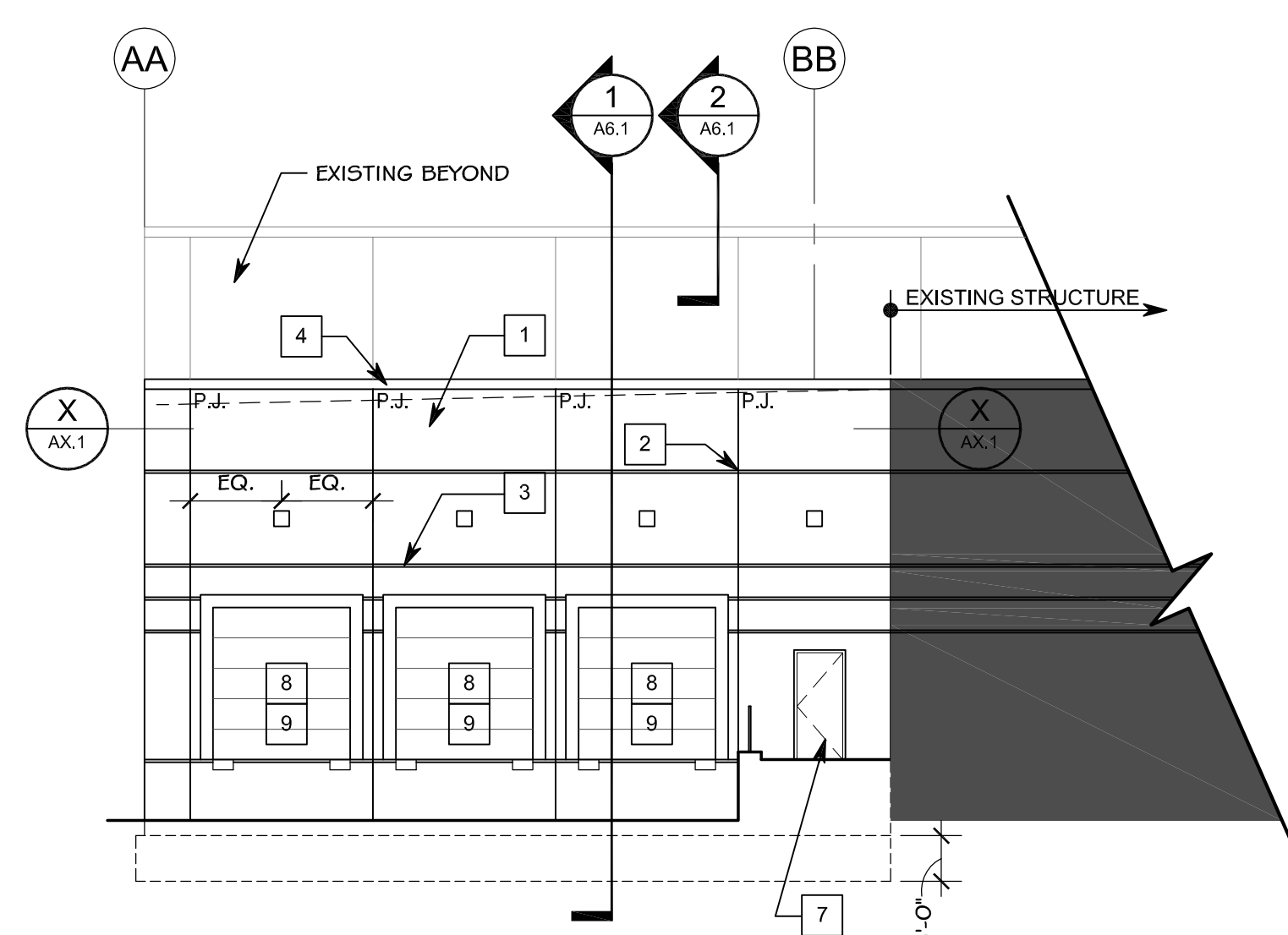
1 SOUTH ELEVATION
A5.1 SCALE: 3/32" = 1'-0"



2 WEST ELEVATION
A5.1 SCALE: 3/32" = 1'-0"



3 NORTH ELEVATION
A5.1 SCALE: 3/32" = 1'-0"



4 EAST ELEVATION
A5.1 SCALE: 3/32" = 1'-0"

CONSULTING ENGINEERS
 SOLE: SERAGASY ASSOCIATES
 3535 MADISON CENTER DRIVE
 MCLEODVILLE, IL 60057
 WWW.SERAGASY.COM

ARCHITECT
GMA
 ARCHITECTS
 900 NORTH ROCK HILL ROAD
 SUITE 100, ROCKFORD, IL 61101
 WWW.GMA-ARCHITECTS.COM

CONTRACTOR
ARCO MURRAY
 3110 WOODCREEK DRIVE
 DOWNERS GROVE, IL 60515
 WWW.ARCOMURRAY.COM

MECHANICAL ENGINEER
 11457 OLDE CABIN ROAD, SUITE 300
 BANCHEAL, IL 60015
 WWW.MECHANICALBANCHEAL.COM

STRUCTURAL ENGINEER
 11457 OLDE CABIN ROAD, SUITE 300
 BANCHEAL, IL 60015
 WWW.MECHANICALBANCHEAL.COM

MECHANICAL ENGINEER
 11457 OLDE CABIN ROAD, SUITE 300
 BANCHEAL, IL 60015
 WWW.MECHANICALBANCHEAL.COM

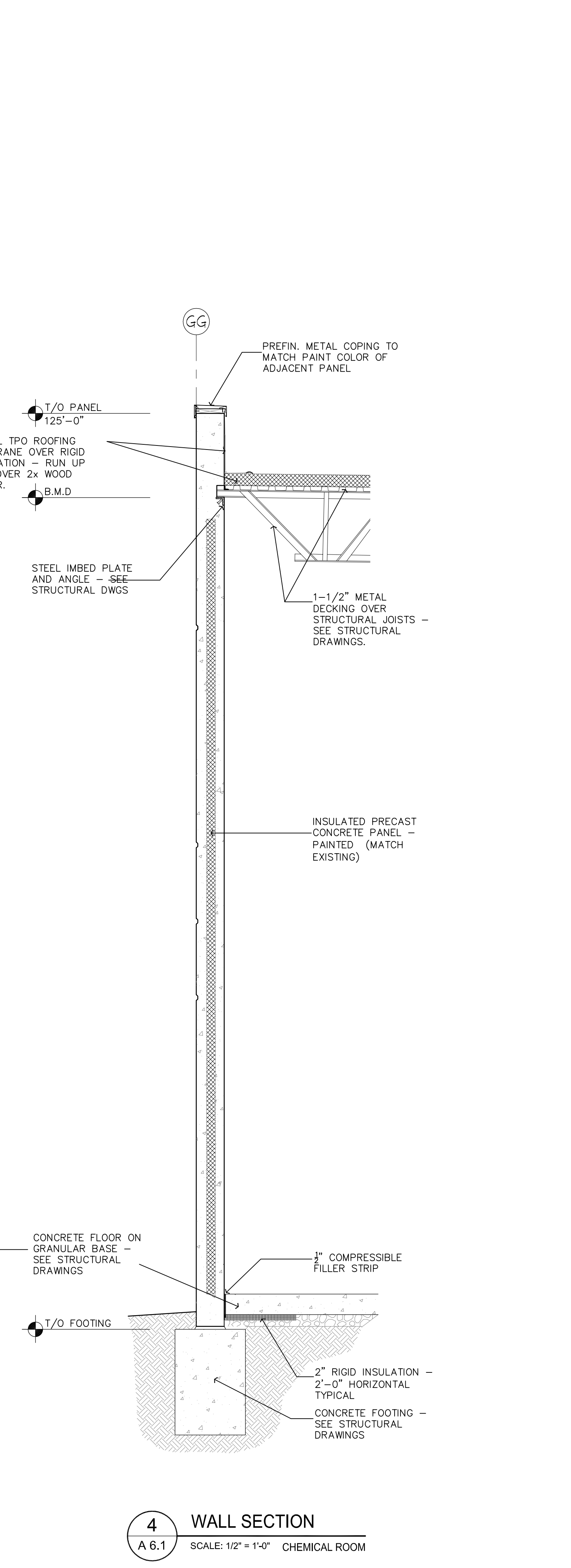
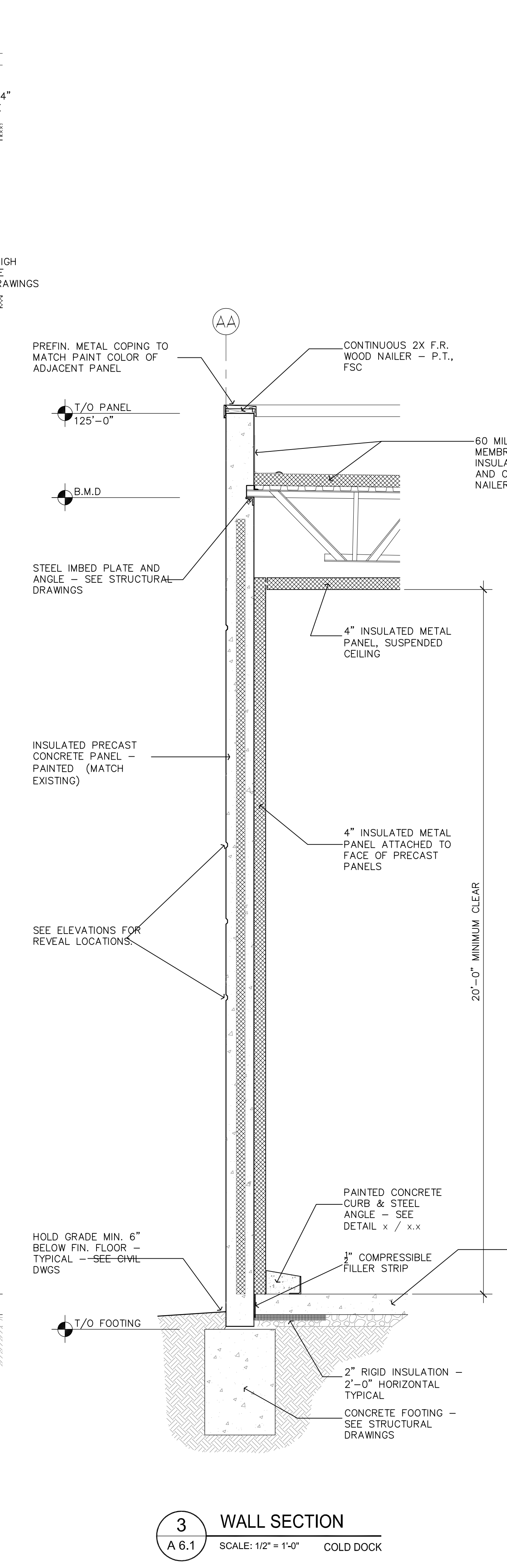
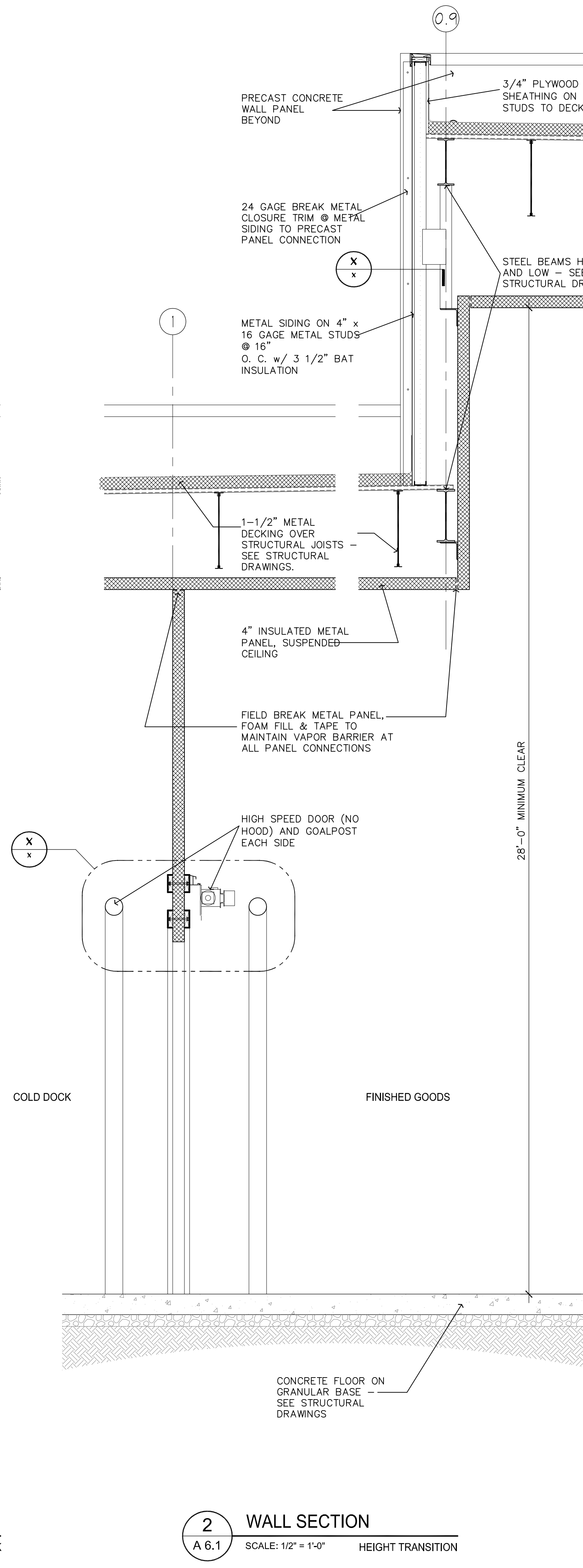
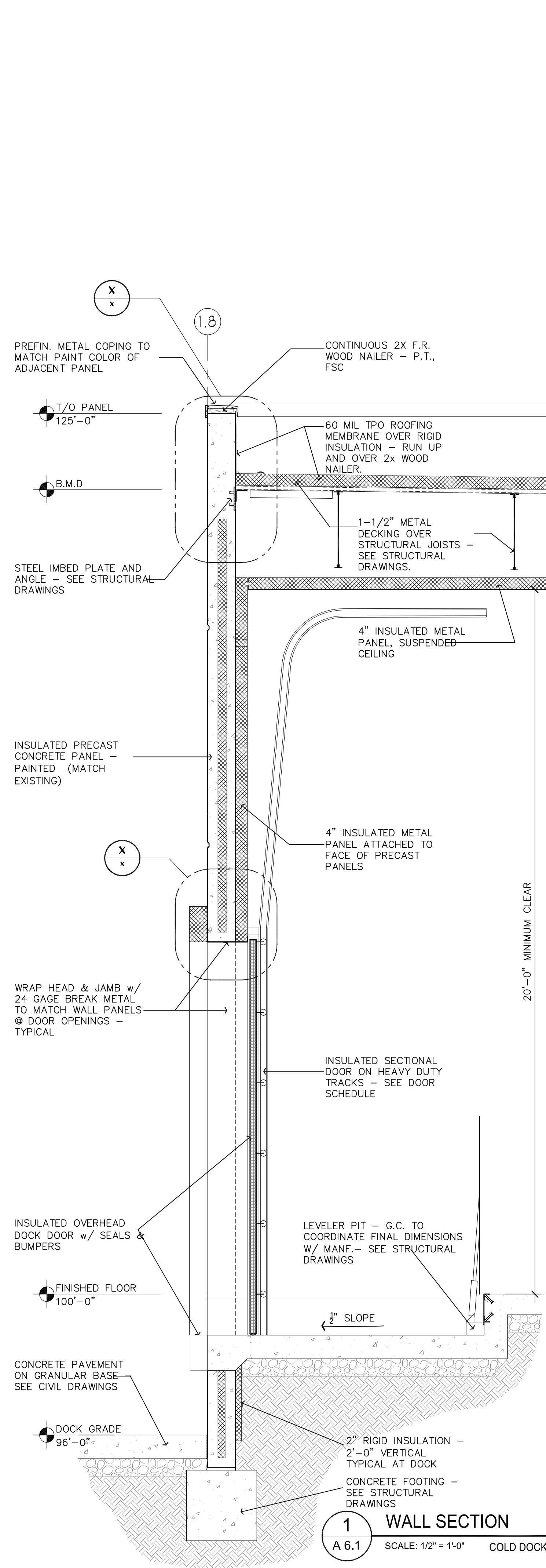
MECHANICAL ENGINEER
 11457 OLDE CABIN ROAD, SUITE 300
 BANCHEAL, IL 60015
 WWW.MECHANICALBANCHEAL.COM

PROJECT
GOODS GROUP
 10100 88TH AVENUE
 PLEASANT PRAIRIE, WI 53158

JOB NO : SJ1442
 PA : ZUK
 ISSUED FOR REVIEW-50% SET
 DATE : 07.18.2014

REVISIONS

SHEET NUMBER
A5.1
 EXTERIOR ELEVATIONS



PROJECT
GODFORDS GROUP
 10100 88TH AVENUE
 PLEASANT PRAIRIE, WI 53158

ARCHITECT
GMA
 900 NORTH ROCK HILL ROAD
 SUITE 100
 ST. LOUIS, MO 63107
 (314) 435-8888
 WWW.GMA-ARCHITECTS.COM

CONTRACTOR
ARCO MURRAY
 3110 WOODCREEK DRIVE
 DOWNERS GROVE, IL 60515
 (630) 469-8888
 WWW.ARCOMURRAY.COM

CONSULTING ENGINEERS
SEHAGASY ASSOCIATES
 3535 MADISON CENTER DRIVE
 MADISON, WI 53711
 (608) 278-1100
 WWW.SEA-ENGINEERS.COM

MECHANICAL ENGINEERING
MCNEELY ENGINEERING
 11457 OLDE CABIN ROAD, SUITE 300
 BANCHEAL, WI 53009
 (262) 661-1100
 WWW.MCNEELY-ENG.COM

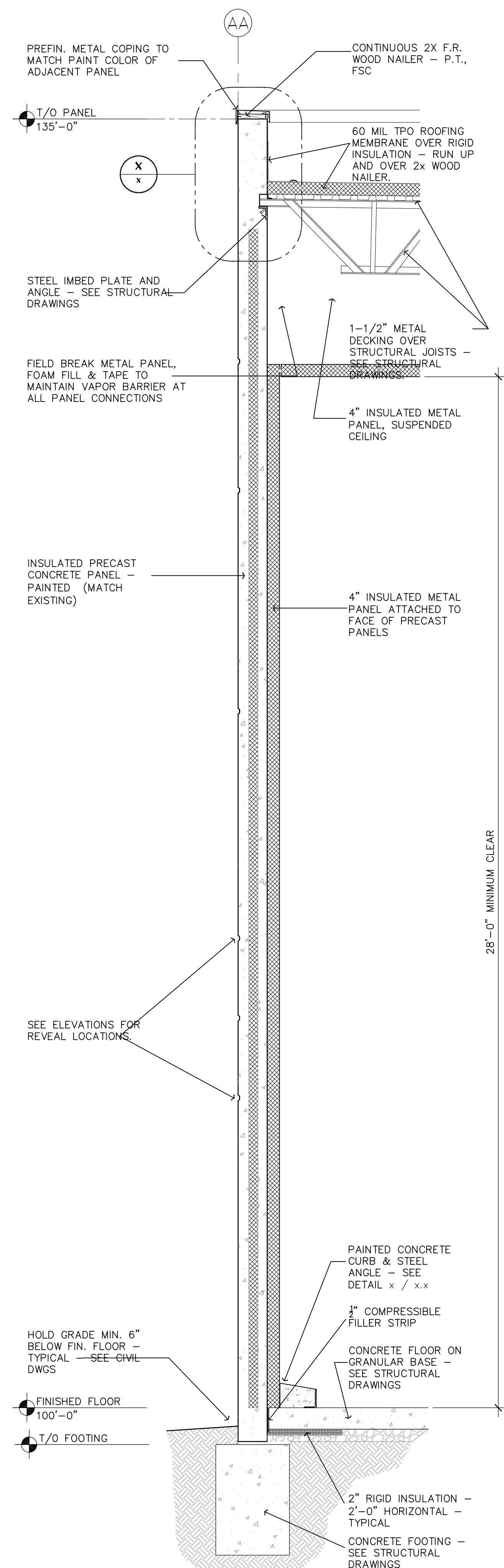
ELECTRICAL ENGINEERING
MECHIELECTRICAL
 11457 OLDE CABIN ROAD, SUITE 300
 BANCHEAL, WI 53009
 (262) 661-1100
 WWW.MECHIELECTRICAL.COM

REFRIGERATION
COOLING EQUIPMENT SERVICES
 141 GARLICK DRIVE
 ELK GROVE VILLAGE, IL 60007
 WWW.CES-REFRIG.COM

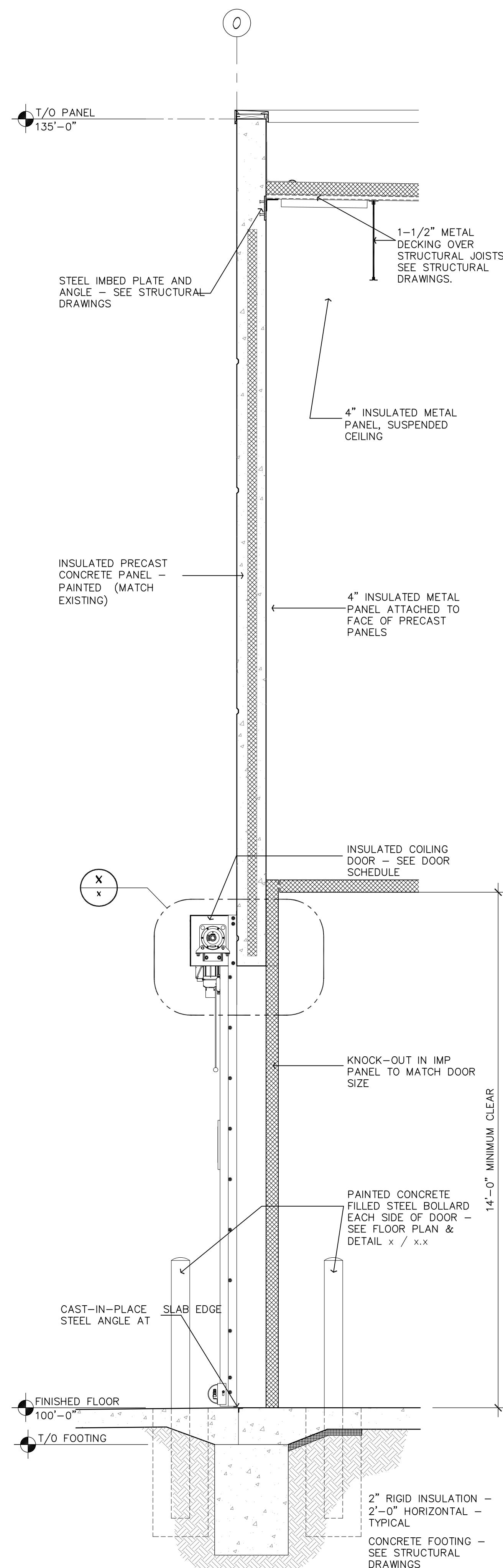
JOB NO : SJ1442
PA : ZUK
 ISSUED FOR REVIEW-50% SET
 DATE : 07.18.2014

REVISIONS

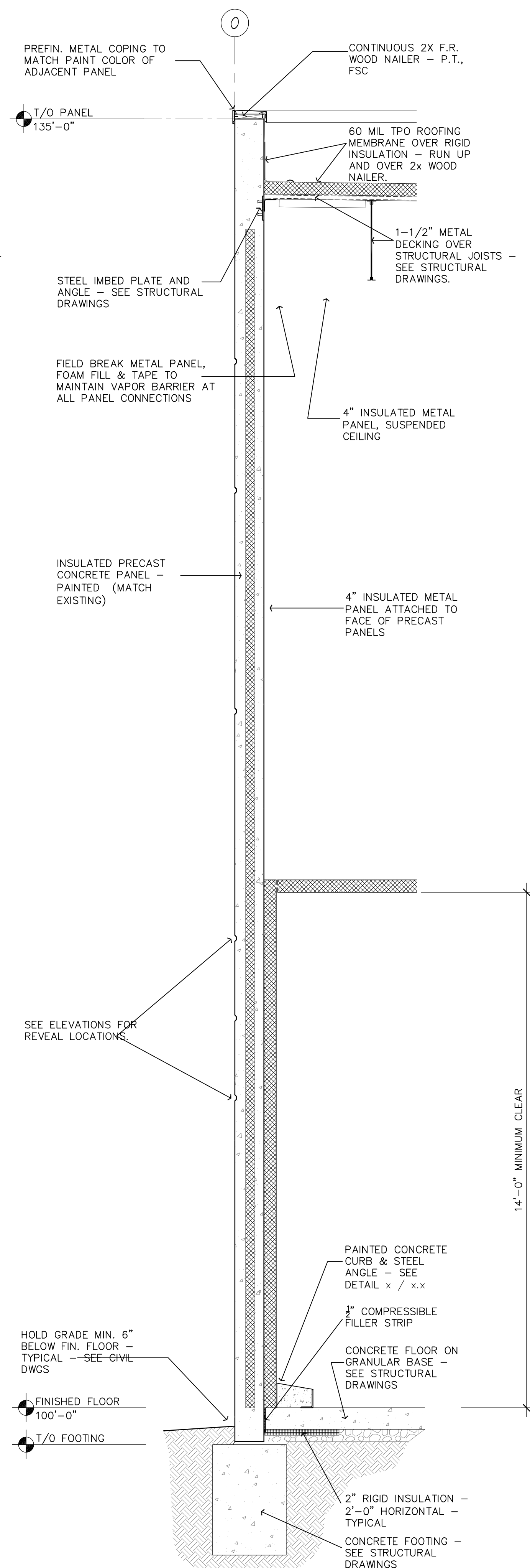
SHEET NUMBER
A 6.1
 WALL SECTIONS



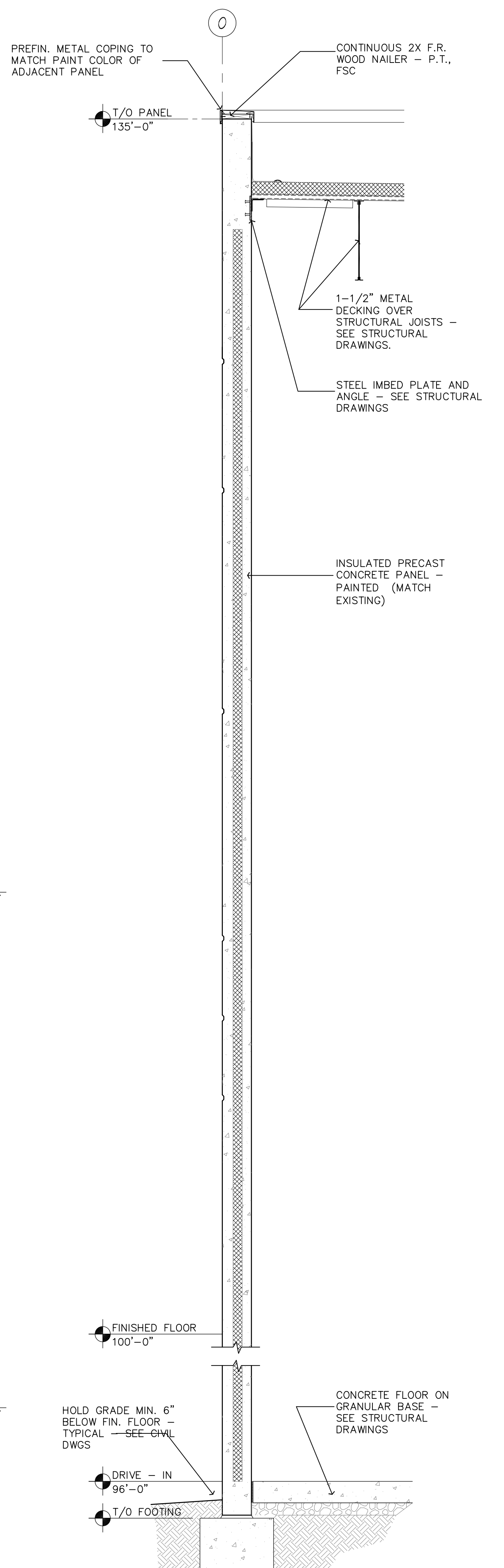
1 WALL SECTION
A 6.2 SCALE: 1/2" = 1'-0" RAW MATERIALS



2 WALL SECTION
A 6.2 SCALE: 1/2" = 1'-0" PRODUCTION #2



3 WALL SECTION
A 6.2 SCALE: 1/2" = 1'-0" PRODUCTION #2



4 WALL SECTION
A 6.2 SCALE: 1/2" = 1'-0" WASTE ROOM

PROJECT

 10100 88TH AVENUE
 PLEASANT PRAIRIE, WI 53158

ARCHITECT

 900 NORTH ROCK HILL ROAD
 ST. LOUIS, MISSOURI 63105
 (314) 433-8800
 WWW.GMA-ARCHITECTS.COM

CONTRACTOR

 3110 WOODCREEK DRIVE
 DONNERS GROVE, IL 60515
 WWW.ARCOMURRAY.COM

CONSULTING ENGINEERS
 SOIL:
 3535 MADISON CENTER DRIVE
 MCLEODVILLE, IL 62450
 STRUCTURAL:
 11457 OLDE CABIN ROAD, SUITE 300
 BANCHEAL, ILLINOIS 62018
 MECHANICAL/ELECTRICAL:
 HOFFMAN ESTATES, IL 60142
 STEPHEN TRIPPAHN

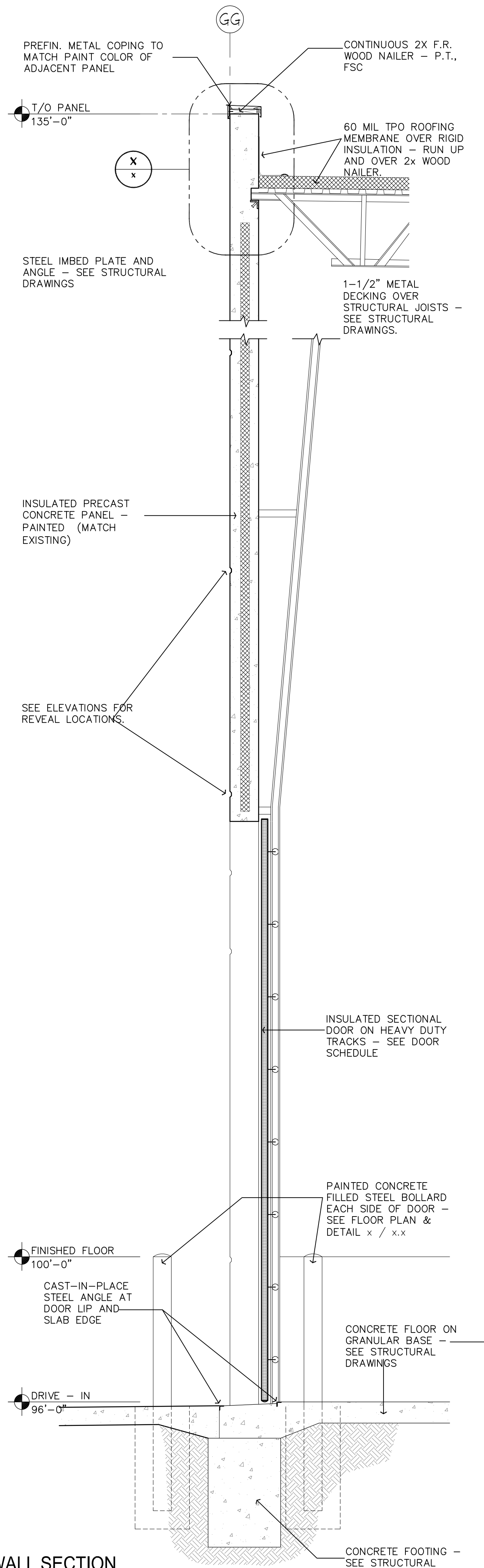
REFRIGERATION

 141 GARLICK DRIVE
 ELK GROVE VILLAGE, IL 60007
 WWW.COOLINGEQUIPMENT.COM

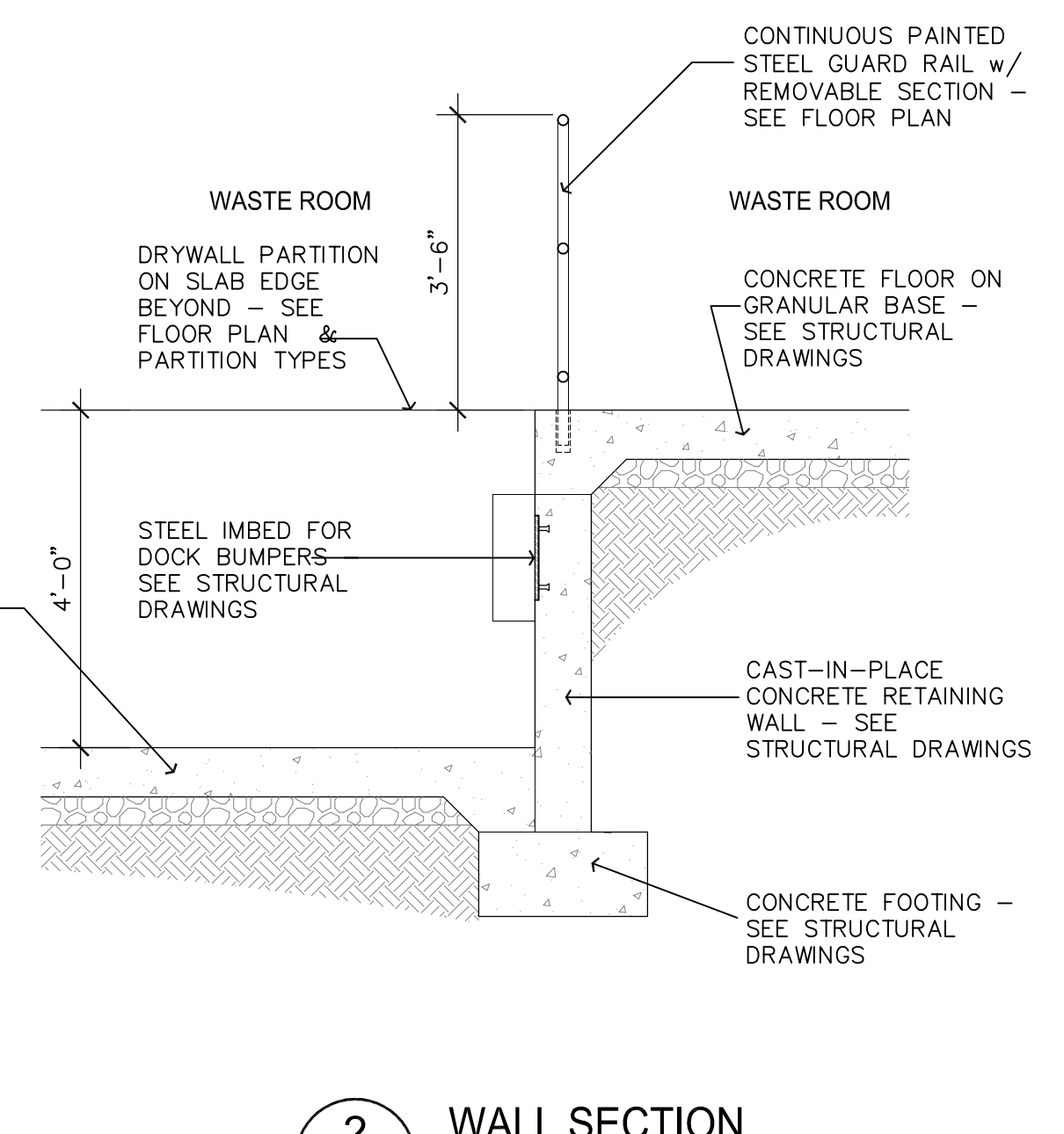
JOB NO : SJ1442
 PA : ZUK
 ISSUED FOR REVIEW-50% SET
 DATE : 07.18.2014

REVISIONS

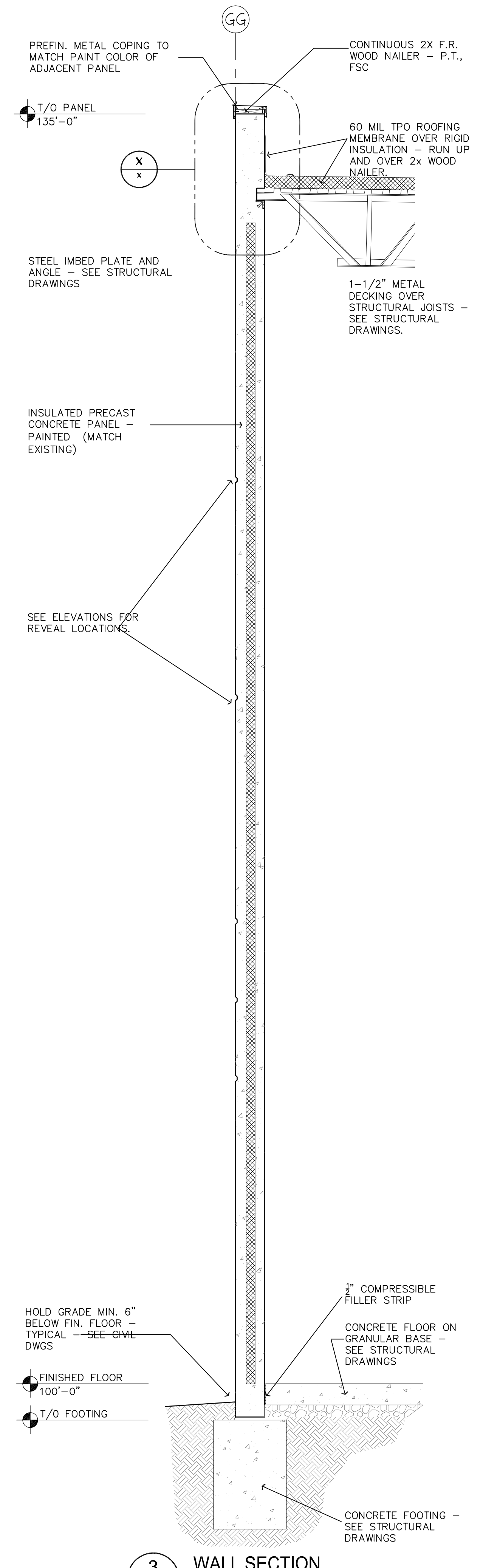
SHEET NUMBER
A 6.2
 WALL SECTIONS



1 WALL SECTION
A 6.3 SCALE: 1/2" = 1'-0" WASTE ROOM



2 WALL SECTION
A 6.3 SCALE: 1/2" = 1'-0" FLOOR TRANSITION



3 WALL SECTION
A 6.3 SCALE: 1/2" = 1'-0" DRY RACK STORAGE

PROJECT: **GOODS GROUP**
10100 88TH AVENUE
PLEASANT PRAIRIE, WI 53158

ARCHITECT: **GMA**
900 NORTH ROCK HILL ROAD
SUNTOWN, WISCONSIN 53185
TEL: 262.389.8888 FAX: 262.389.0714
WWW.GMA-ARCHITECTS.COM

CONTRACTOR: **ARCO MURRAY**
3110 WOODCREEK DRIVE
DOWNERS GROVE, IL 60515
WWW.ARCOMURRAY.COM

CONSULTING ENGINEERS: **SELYAGSKY ASSOCIATES**
3535 MADISON CENTER DRIVE
MCDARTMOUTH, ILLINOIS 60057
WWW.SELYAGSKY.COM

MECHANICAL: **MCNEALY ENGINEERING**
11457 OLDE CABIN ROAD, SUITE 300
BANCHEALY, ILLINOIS 60018
WWW.MCNEALY-ENG.COM

ELECTRICAL: **MECHIELECELMB.**
11457 OLDE CABIN ROAD, SUITE 300
BANCHEALY, ILLINOIS 60018
WWW.MECHIELECELMB.COM

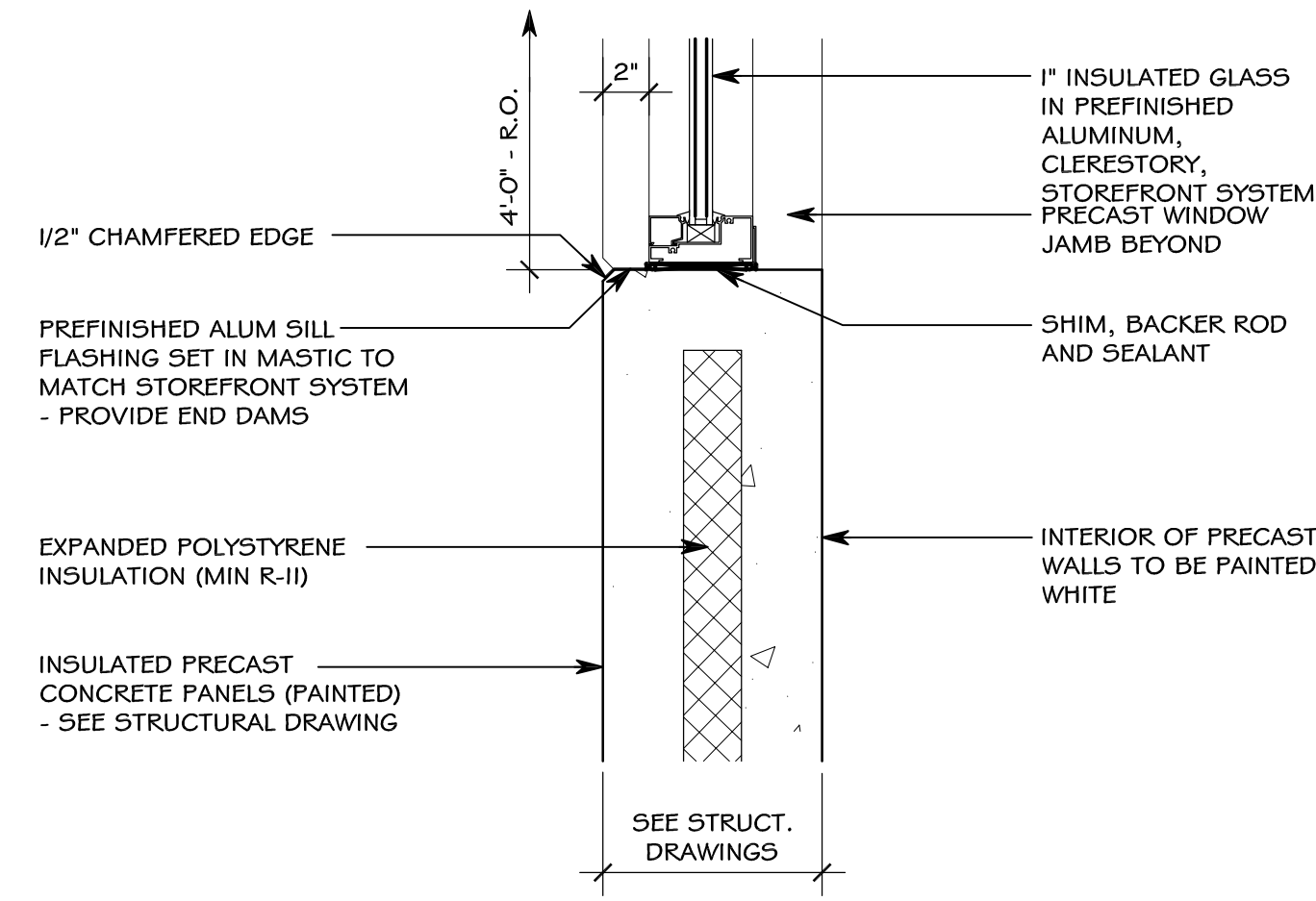
REFRIGERATION: **COOLING EQUIPMENT SERVICES**
141 GARLICK DRIVE
EATON GROVE, ILLINOIS 60007
WWW.COOLINGSERVICES.COM

JOB NO : SJ1442
PA : ZUK
ISSUED FOR REVIEW-50% SET
DATE : 07.18.2014

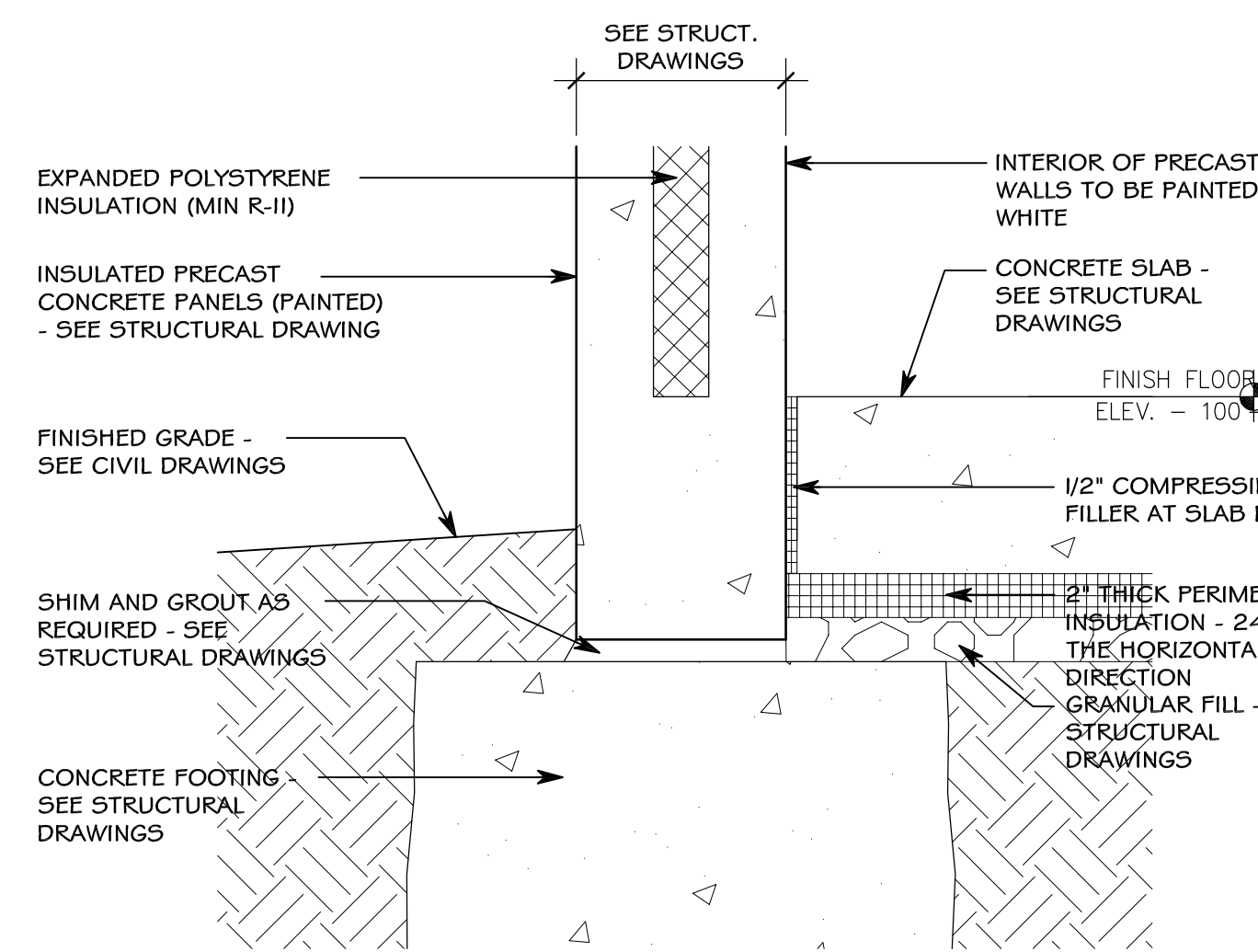
REVISIONS

SHEET NUMBER
A 6.3
WALL SECTIONS

1 WALL SECTION
AX.X SCALE: 1 1/2" = 1'-0"



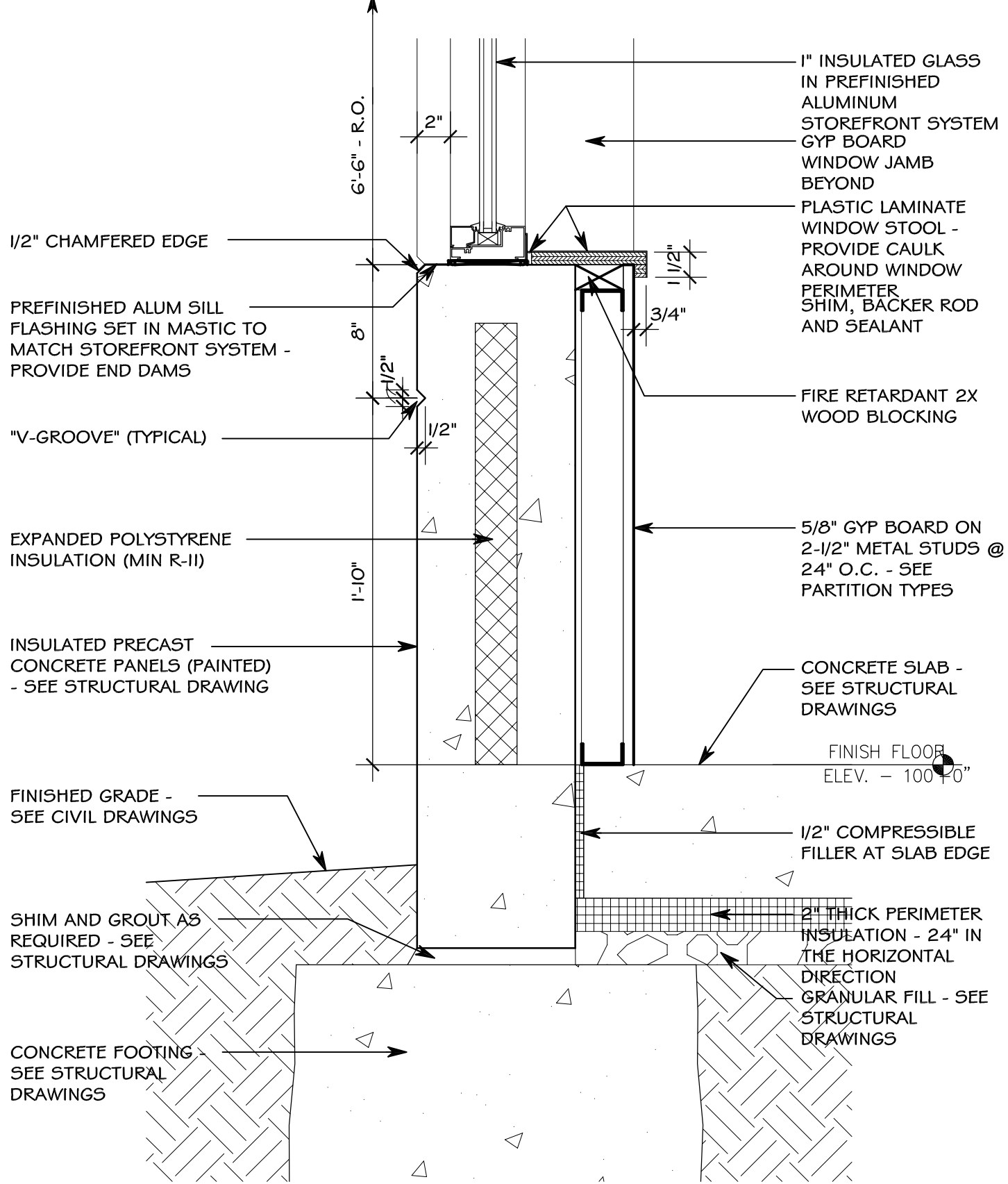
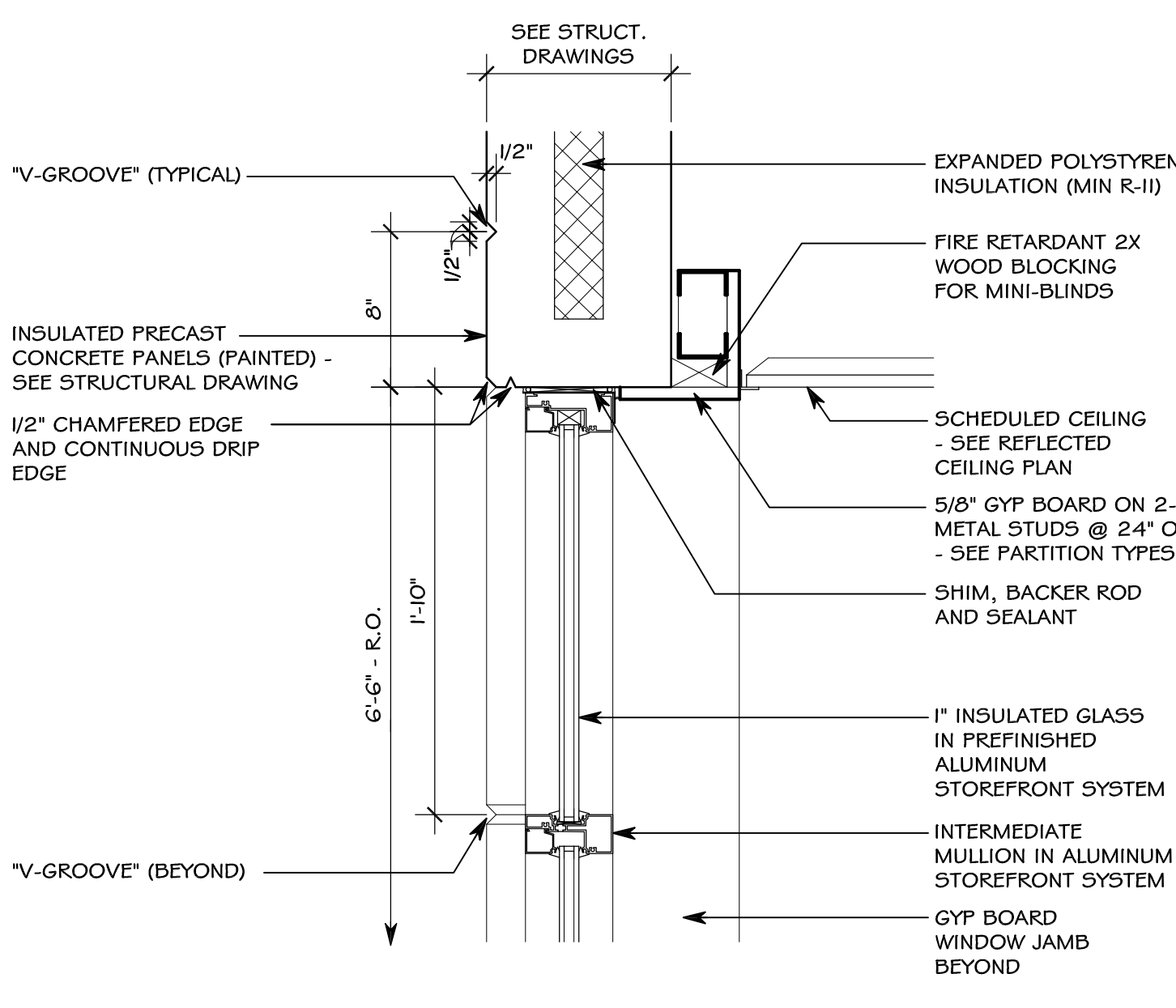
2 WALL SECTION
AX.X SCALE: 1 1/2" = 1'-0"



3 WALL SECTION
AX.X SCALE: 1 1/2" = 1'-0"



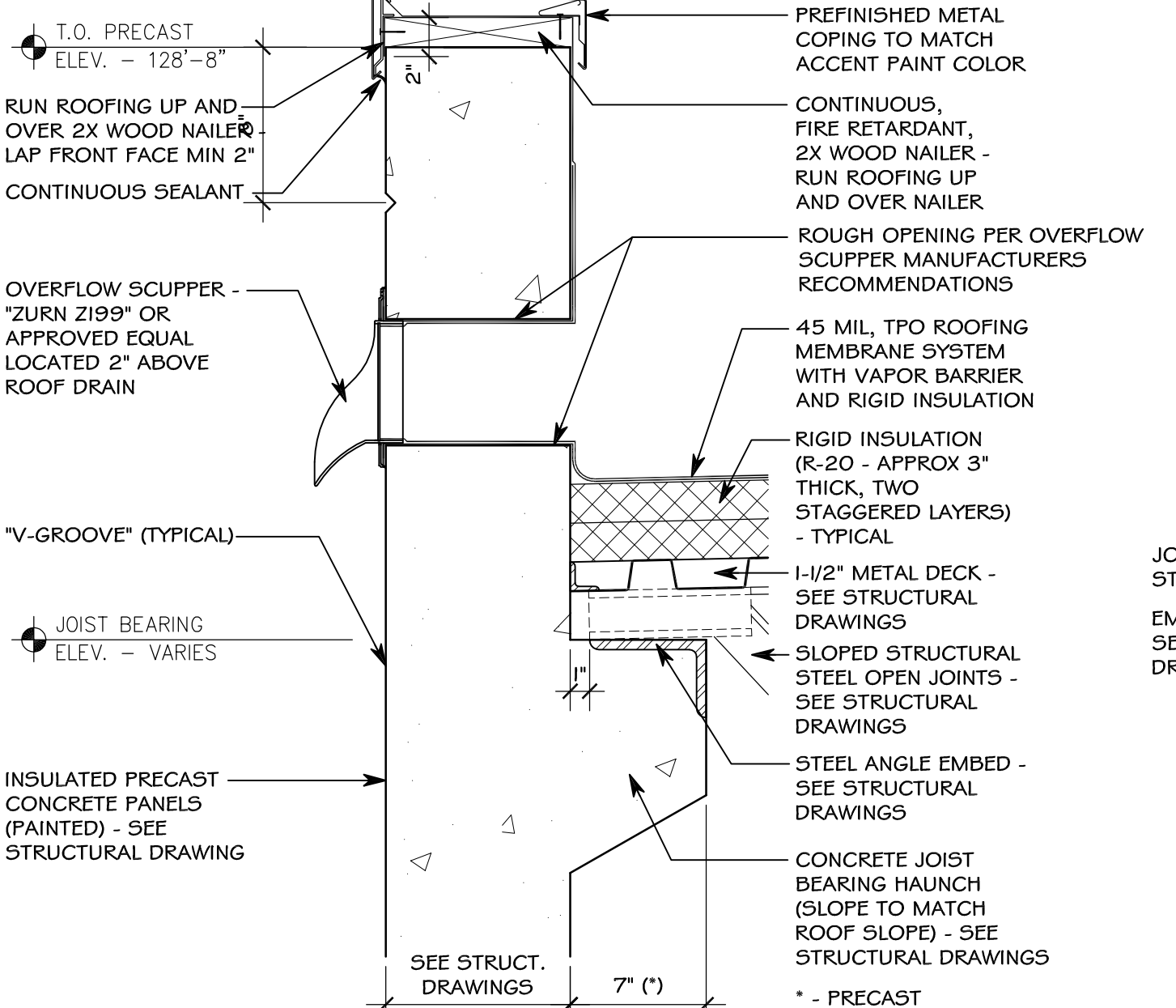
4 WALL SECTION
AX.X SCALE: 1 1/2" = 1'-0"



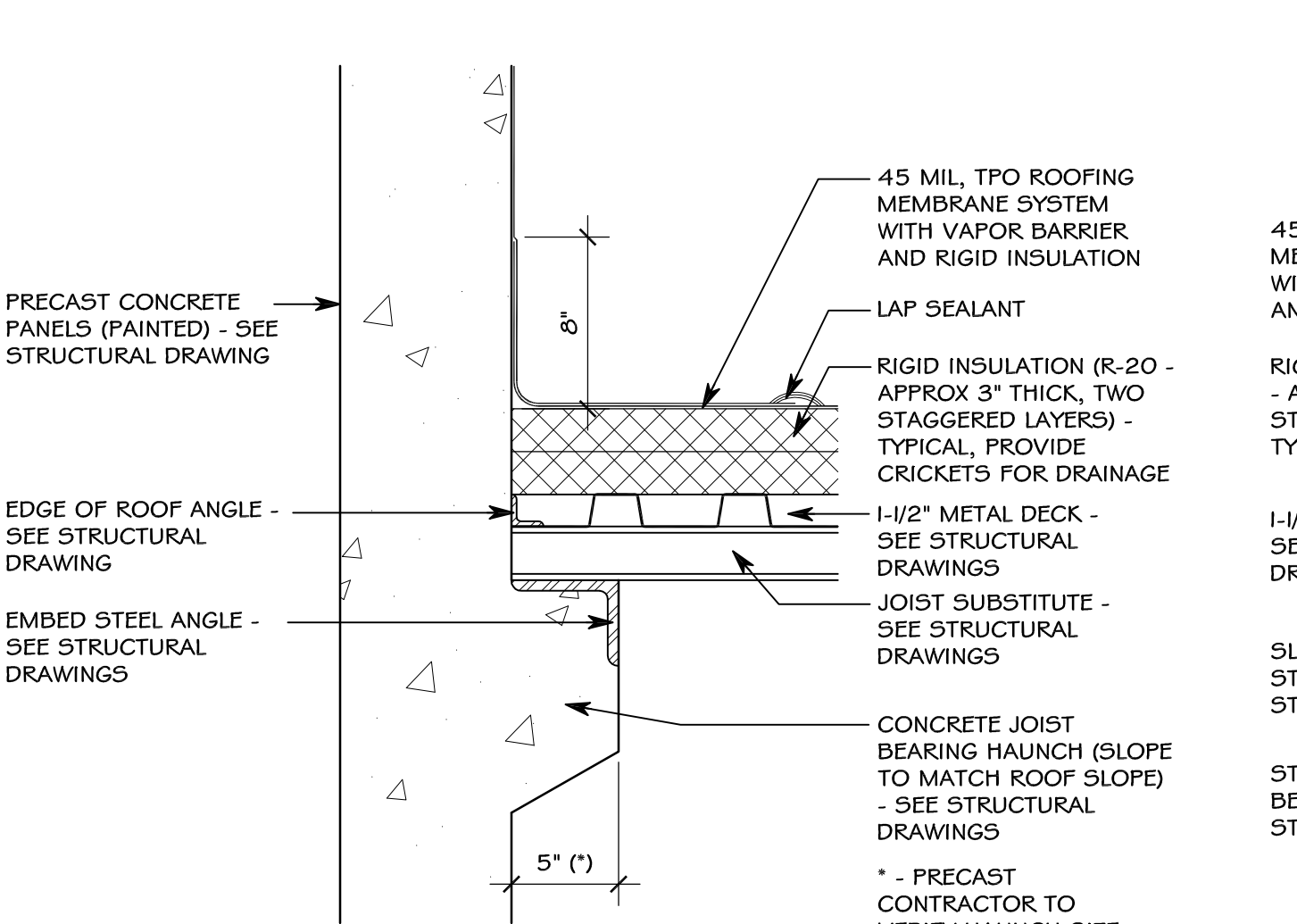
5 WALL SECTION
AX.X SCALE: 1 1/2" = 1'-0"



6 WALL SECTION
AX.X SCALE: 1 1/2" = 1'-0"



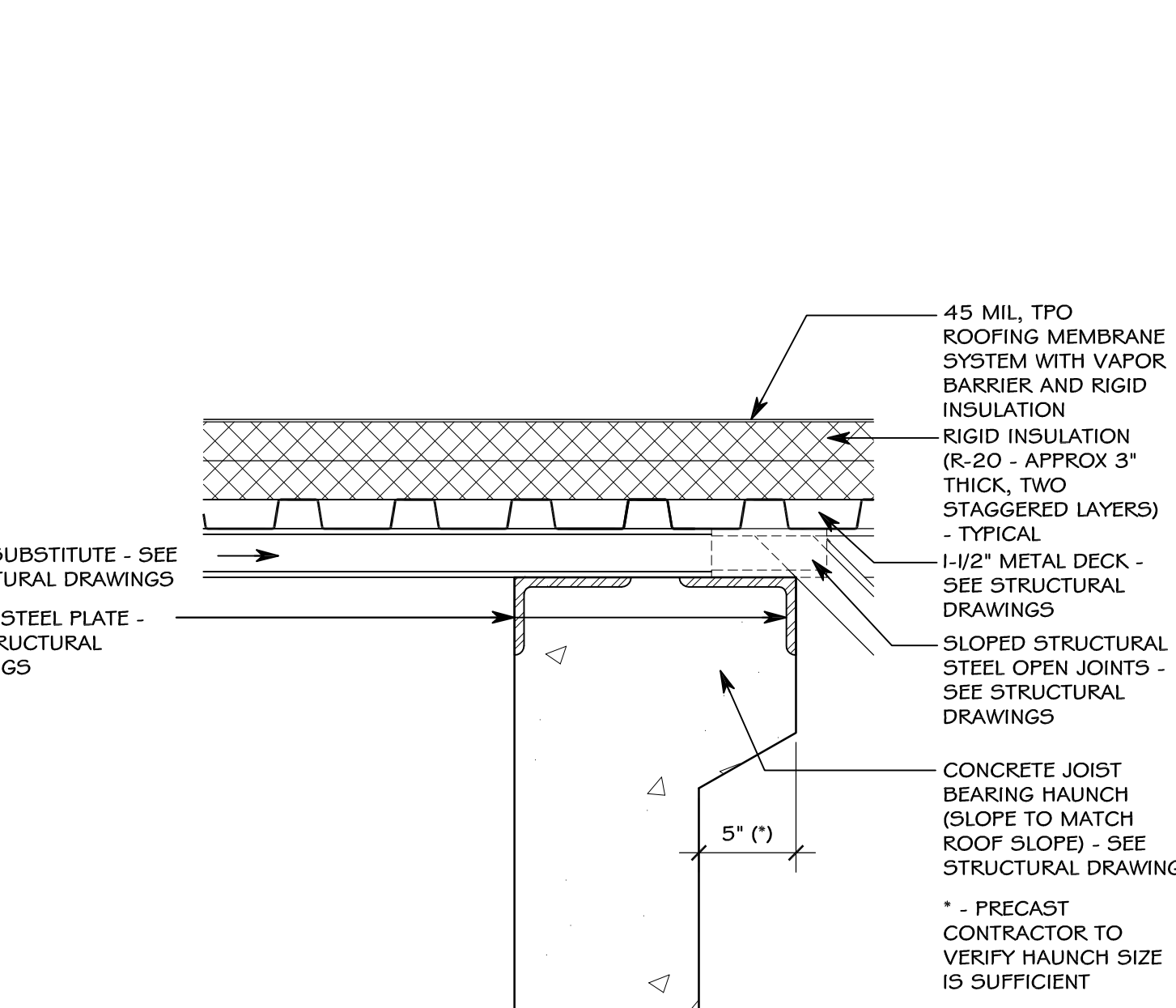
7 TERMINATOR BAR @ JOINT IN CONCRETE PANEL
AX.X SCALE: 3" = 1'-0"



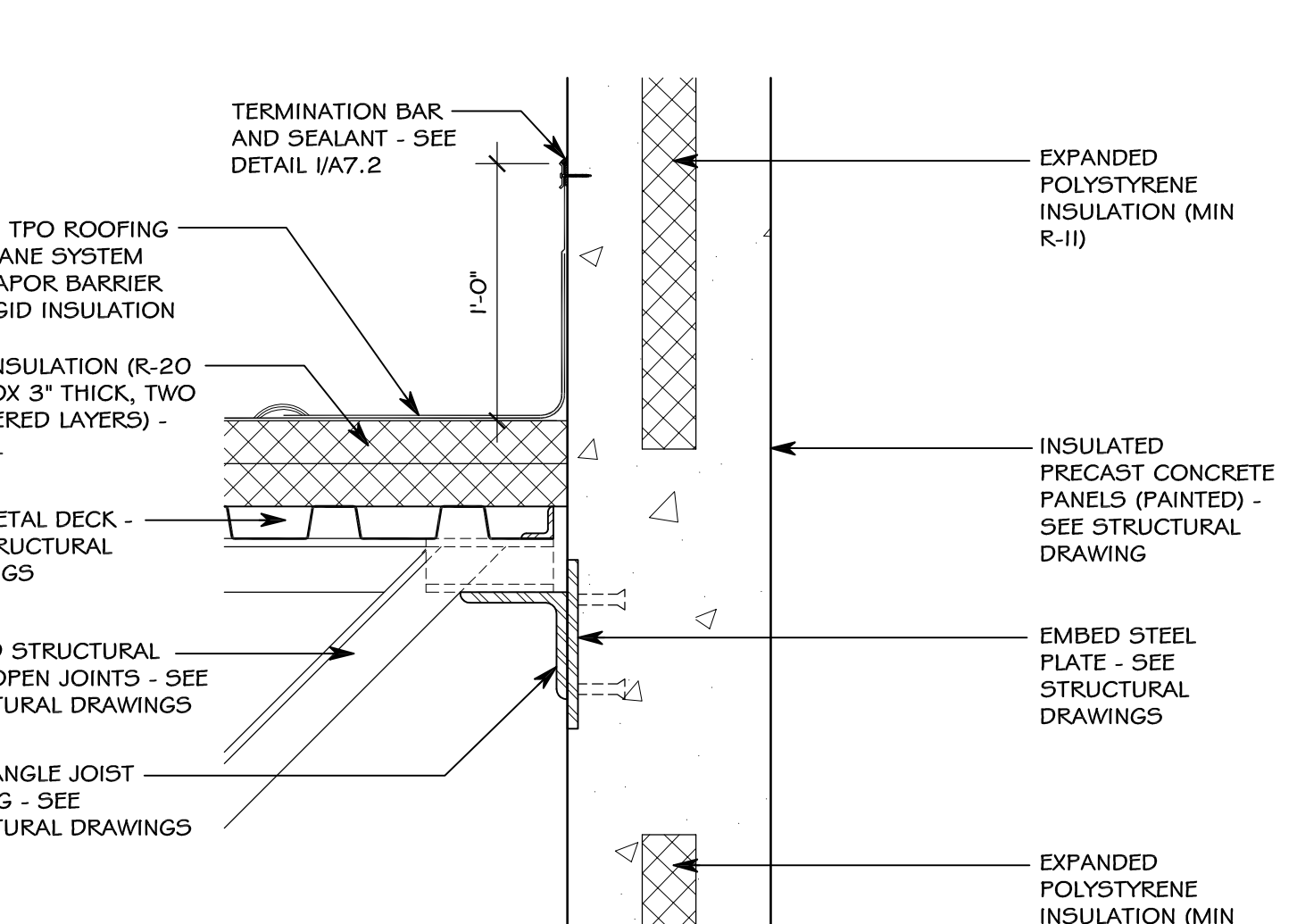
8 WALL SECTION
AX.X SCALE: 1 1/2" = 1'-0"



9 WALL SECTION
AX.X SCALE: 1 1/2" = 1'-0"



10 WALL SECTION
AX.X SCALE: 1 1/2" = 1'-0"



COOLING EQUIPMENT SERVICES
141 GARLICK DRIVE
EVA GROVE VILLAGE
60007
WWW.COOLINGSERVICES.COM

REFRIGERATION

CONSULTING ENGINEERS
SEHAGASY ASSOCIATES
3535 MADISON CENTER DRIVE
MADISON, WI 53711
608.271.5950
WWW.SEAASYS.COM

STRUCTURAL: MCNEAL ENGINEERING
11457 OLDE CABIN ROAD, SUITE 300
BANCHEAL, WI 53511
WWW.MCNEAL-ENG.COM

MECHANICAL: WATMECHANICAL
1001 W. MECHANICAL
HOFFMAN ESTATES, IL 60142
WWW.WATMECHANICAL.COM

CONTRACTOR
ARCHITECT

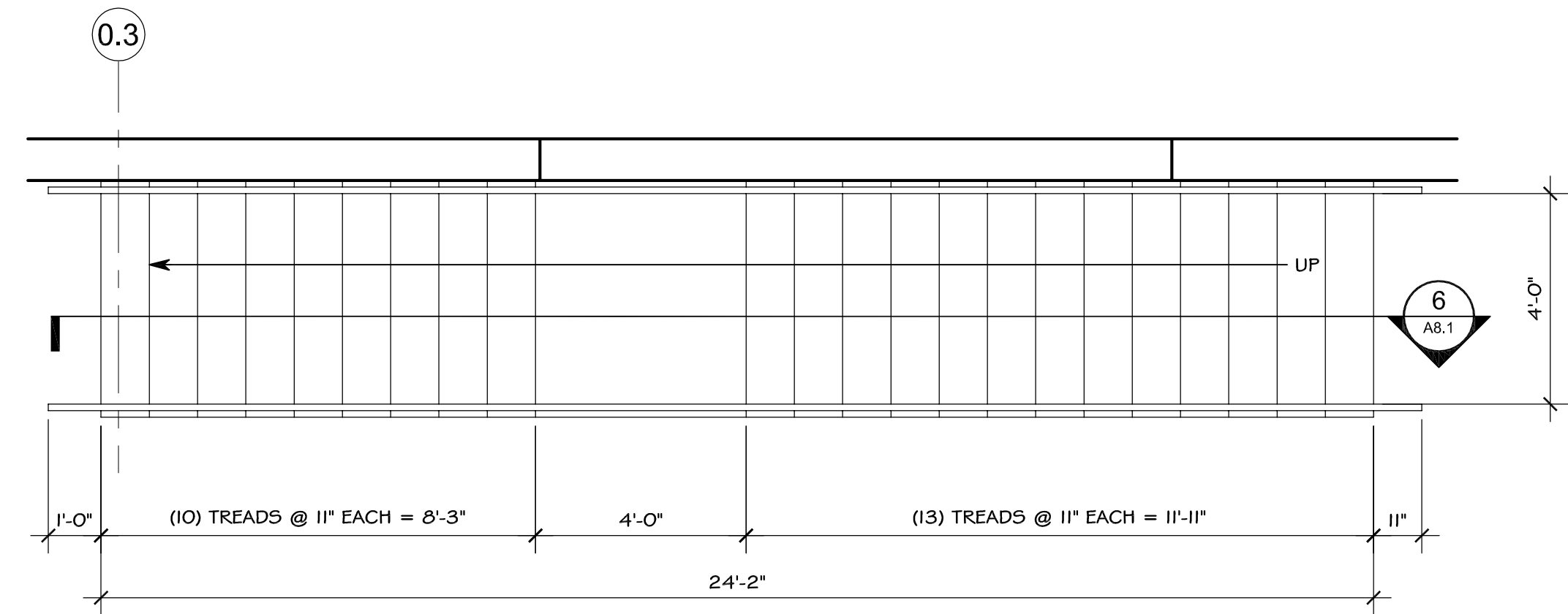
ARCHITECT
GMAA
3110 NORTH ROCK HILL ROAD
ST. LOUIS, MISSOURI 63108
636.437.0714
WWW.GMAARCHITECTS.COM

PROJECT
GODFOODS GROUP
10100 88TH AVENUE
PLEASANT PRAIRIE, WI 53158

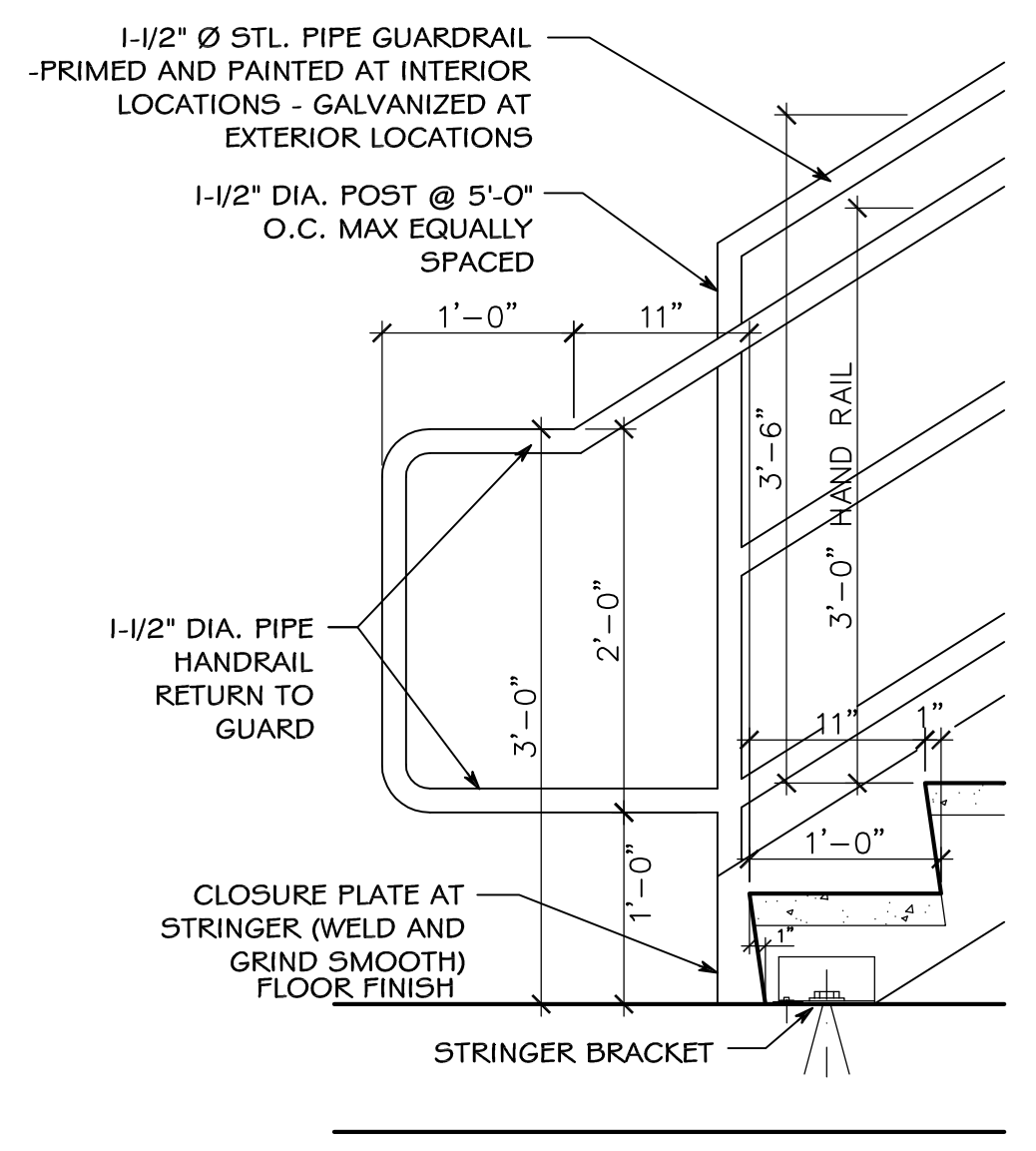
JOB NO : SJ1442
ISSUED FOR REVIEW-50% SET
DATE : 07.18.2014

REVISIONS

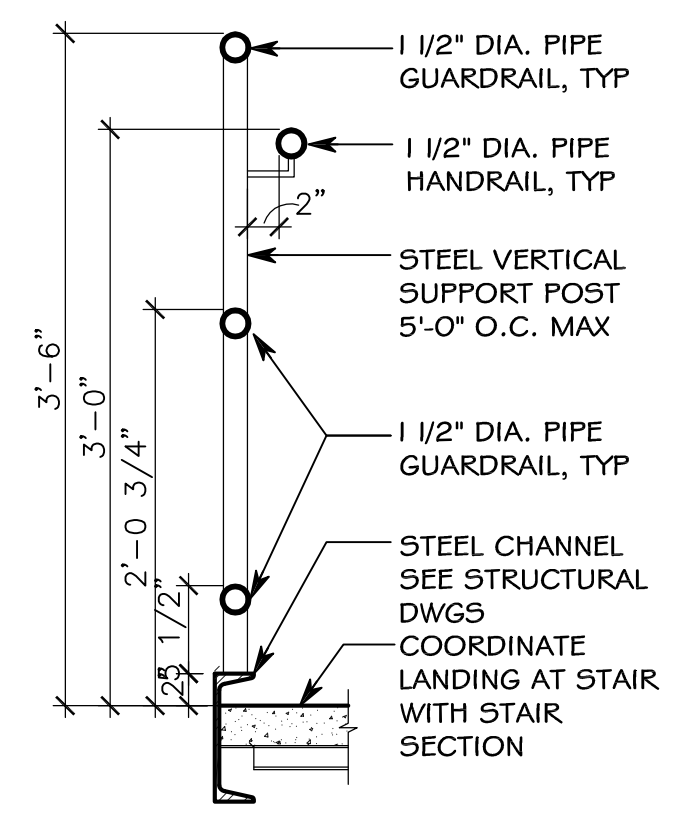
SHEET NUMBER
A7.1
DETAILS



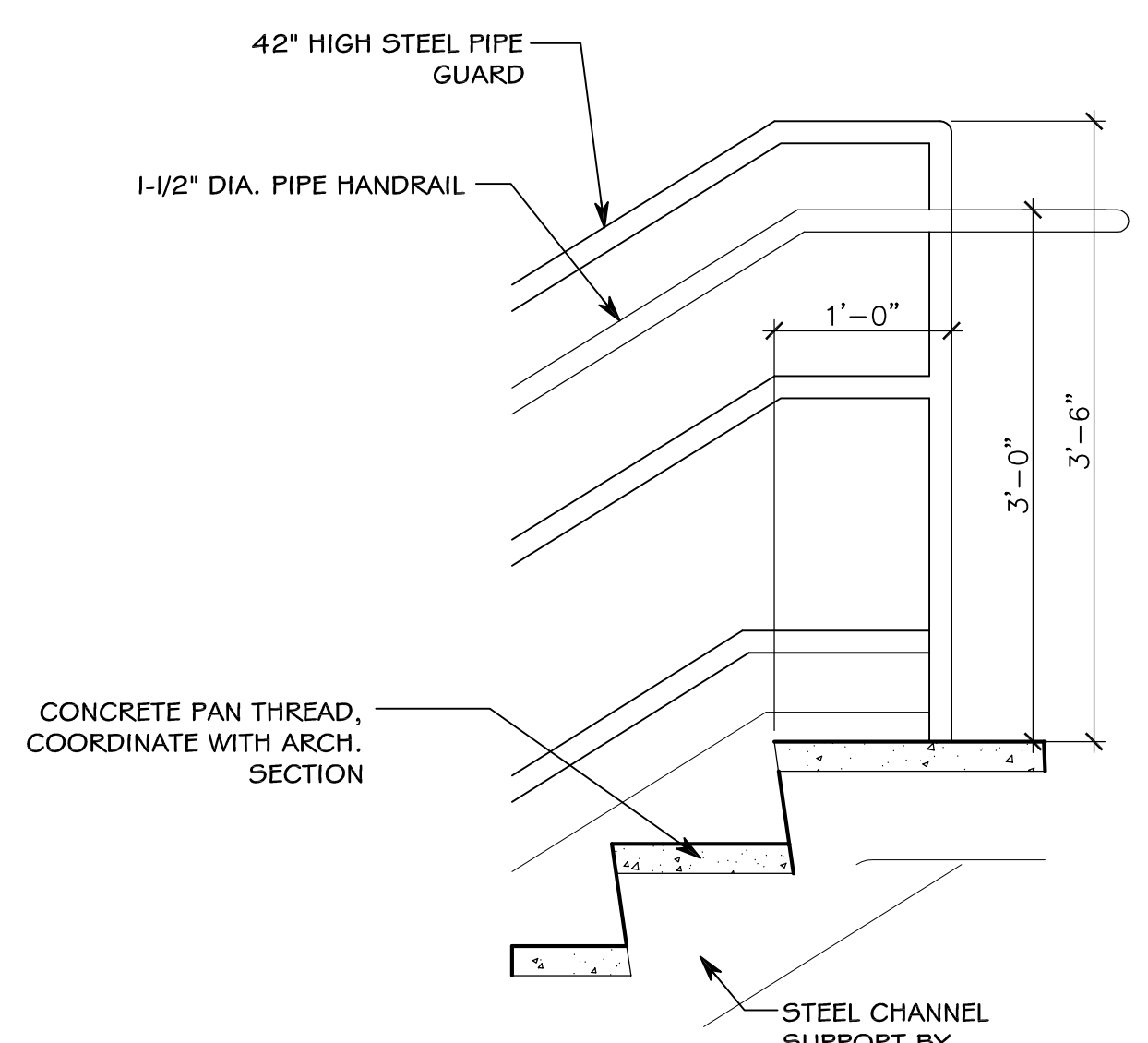
1 ENLARGED STAIR PLAN
A8.1 SCALE: 3/8" = 1'-0"



2 STAIR SECTION DETAIL
A8.1 SCALE: 1" = 1'-0"

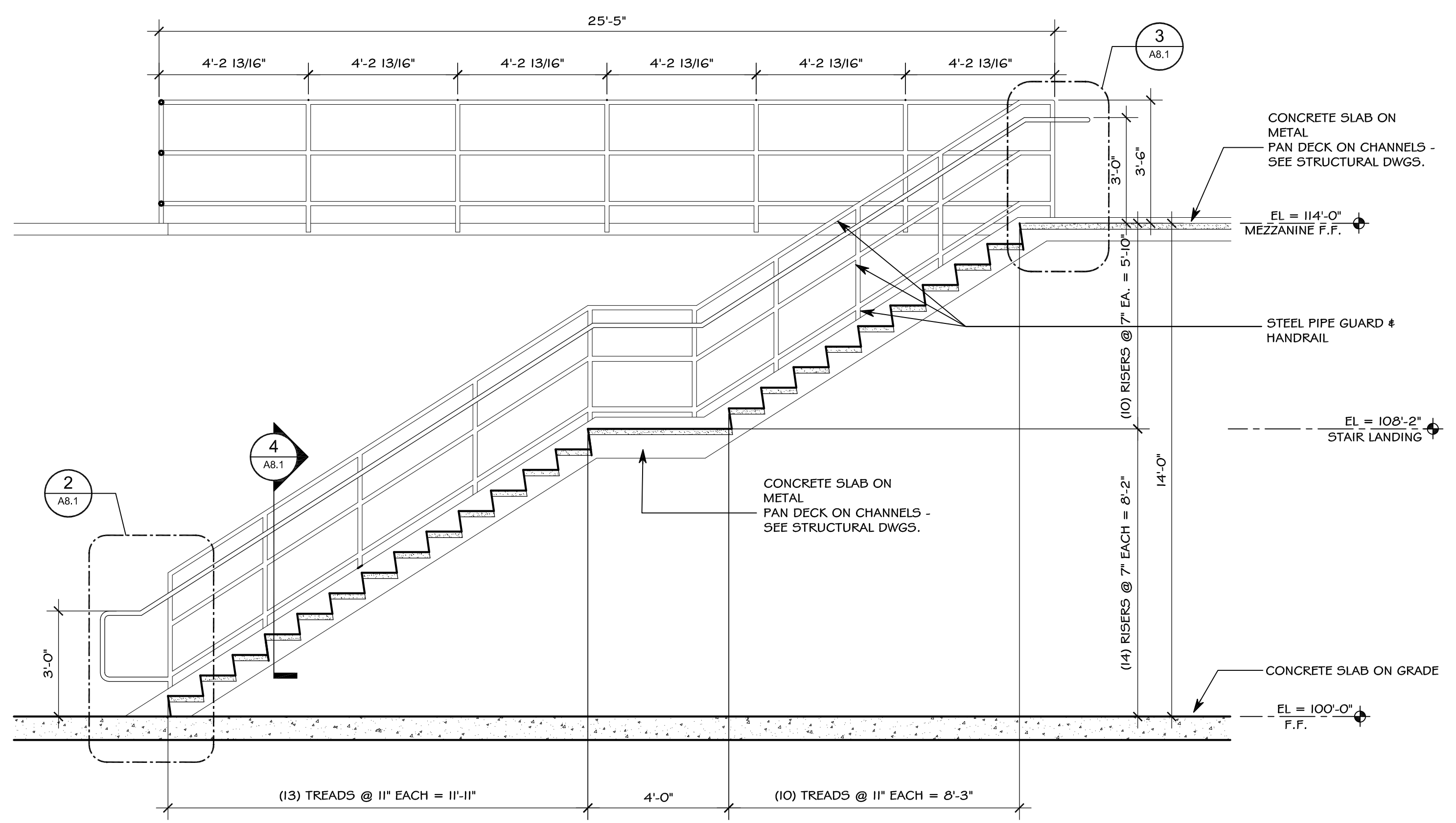


4 METAL GUARDRAIL W/ VERTICAL PICKETS & HANDRAIL
A8.5 SCALE: 1 1/2" = 1'-0"



3 STAIR SECTION DETAIL
A8.1 SCALE: 1" = 1'-0"

5 NOT USED
A8.5 SCALE: 1 1/2" = 1'-0"



6 STAIR SECTION
A8.1 SCALE: 3/8" = 1'-0"

PROJECT
GODFOODS GROUP
 10100 88TH AVENUE
 PLEASANT PRAIRIE, WI 53158

ARCHITECT
GMA
 ARCHITECTS
 900 NORTH ROCK HILL ROAD
 SUITE 100
 WILSON, ILLINOIS 60097
 (630) 448-8888 FAX (630) 448-0714
 WWW.GMA-ARCHITECTS.COM

CONTRACTOR
ARCO MURRAY
 3110 WOODCREEK DRIVE
 DOWNERS GROVE, IL 60515
 (630) 448-8888 FAX (630) 448-0714
 WWW.ARCOMURRAY.COM

CONSULTING ENGINEERS
SEHAGASY ASSOCIATES
 3535 MADISON CENTER DRIVE
 ADDISON, ILLINOIS 60101
 (630) 448-8888 FAX (630) 448-0714
 WWW.SEA-ENGINEERS.COM

MECHANICAL
MCNEAL Y ENGINEERING
 11457 OLDE CABIN ROAD, SUITE 300
 BANCHEAL, ILLINOIS 60018
 (630) 448-8888 FAX (630) 448-0714
 WWW.MCNEAL-ENGINEERING.COM

ELECTRICAL
MECHIELECELEMBE
 11457 OLDE CABIN ROAD, SUITE 300
 BANCHEAL, ILLINOIS 60018
 (630) 448-8888 FAX (630) 448-0714
 WWW.MECHIELECELEMBE.COM

COOLING EQUIPMENT SERVICES
 141 GARLUSCH DRIVE
 ELK GROVE VILLAGE, ILLINOIS 60007
 WWW.COOLINGSERVICES.COM

REGENERATION
 11457 OLDE CABIN ROAD, SUITE 300
 BANCHEAL, ILLINOIS 60018
 (630) 448-8888 FAX (630) 448-0714
 WWW.MCNEAL-ENGINEERING.COM

JOB NO : SJ1442
PA : ZUK
 ISSUED FOR REVIEW-50% SET
 DATE : 07.18.2014

REVISIONS

SHEET NUMBER
A8.1
 STAIR DETAILS

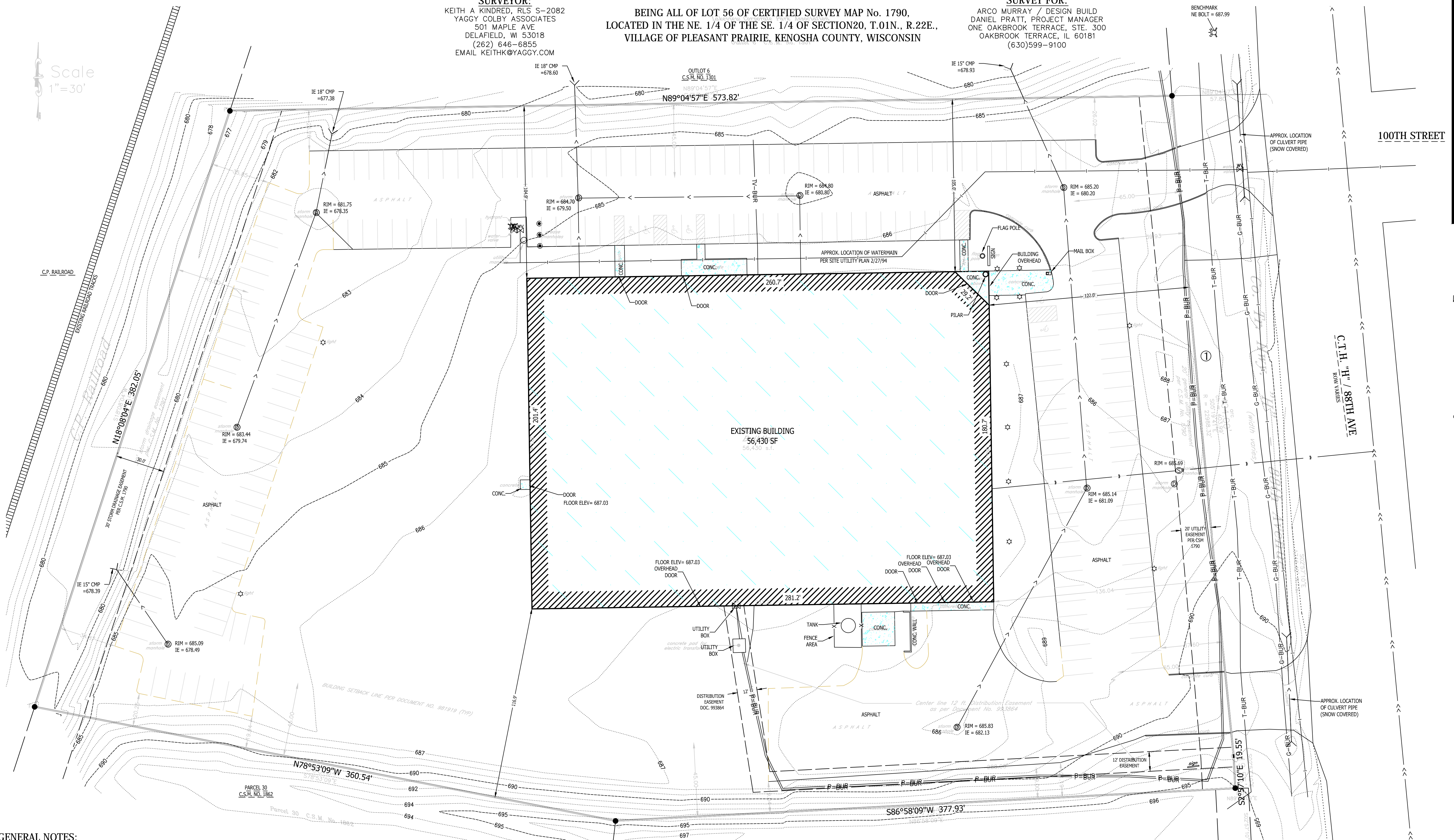
PLAT OF SURVEY

SURVEYOR:
 KEITH A KINDRED, RLS S-2082
 YAGGY COLBY ASSOCIATES
 501 MAPLE AVE
 DELAFIELD, WI 53018
 (262) 646-6855
 EMAIL KEITHK@YAGGY.COM

BEING ALL OF LOT 56 OF CERTIFIED SURVEY MAP No. 1790,
 LOCATED IN THE NE. 1/4 OF THE SE. 1/4 OF SECTION 20, T.01N., R.22E.,
 VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY, WISCONSIN

SURVEY FOR:
 ARCO MURRAY / DESIGN BUILD
 DANIEL PRATT, PROJECT MANAGER
 ONE OAKBROOK TERRACE, STE. 300
 OAKBROOK TERRACE, IL 60181
 (630)599-9100

Scale
 1" = 30'



YAGGY COLBY ASSOCIATES

ENGINEERS
 LANDSCAPE ARCHITECTS
 SURVEYORS PLANNERS

501 MAPLE AVENUE
 DELAFIELD, WISCONSIN 53018
 262-646-6855
 FAX 262-646-6864
 EMAIL: INFO@YAGGY.COM

N
 W E
 S

SCALE: 1" = 30'

0 15 30 60

① Chord: 403.99'
 Course: S 05°19'41" E
 Arc Length: 404.00'
 Radius: 22988.32'

- GENERAL NOTES:**
1. THE SURVEYOR TAKES NO RESPONSIBILITY FOR ANY UNDERGROUND STRUCTURES OR BURIED MATERIALS SUCH AS FOUNDATIONS, WELLS, SEPTIC, HOLDING TANKS, UTILITIES, HAZARDOUS MATERIALS, OR ANY OTHER ITEMS OF WHICH NO EVIDENCE CAN BE FOUND ON THE SURFACE BY A VISUAL INSPECTION. THE SURVEYOR WILL NOT ENTER ANY BUILDINGS ON OR OFF SITE.
 2. LOCATION OF EASEMENTS BASED ON AN ALTA/ACSM LAND TITLE SURVEY PREPARED BY J.K.R. SURVEYING, INC. DATED AUGUST 22, 2012 AS PROVIDED.
 3. UNDERGROUND UTILITY LOCATIONS MARKED BY DIGGER'S HOTLINE PER TICKET #20140502528, DATED 01/31/2014. SURVEYOR TAKES NO RESPONSIBILITY FOR UTILITIES NOT MARKED IN FIELD BY DIGGERS HOTLINE.
 4. DUE TO SNOW COVER AT THE TIME OF THE FIELD WORK THE ACCURACY OF DRIVEWAYS, WALKS AND POTENTIAL STRUCTURES BURIED BY SNOW SHALL BE RELIED UPON ACCORDINGLY.

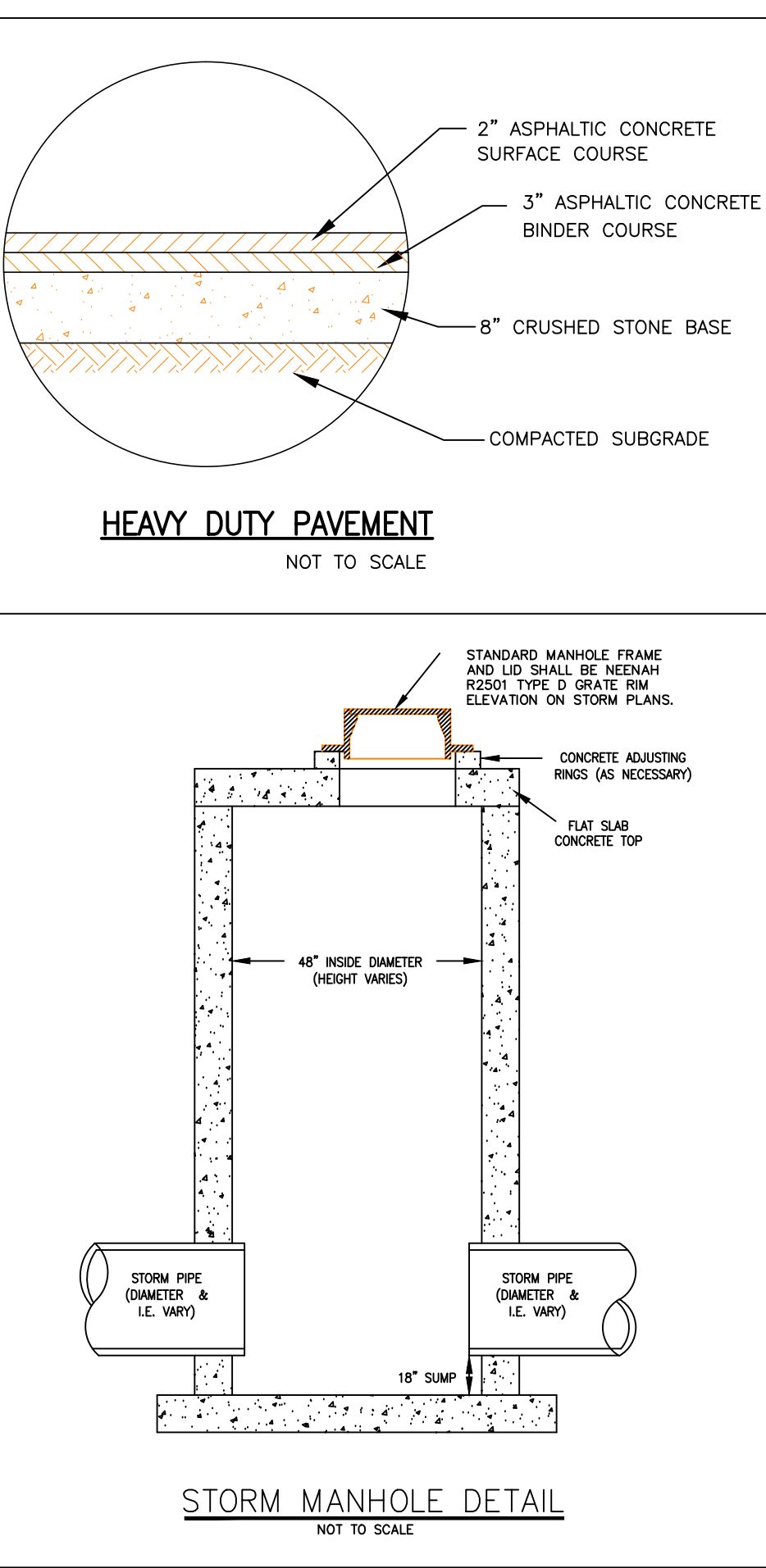
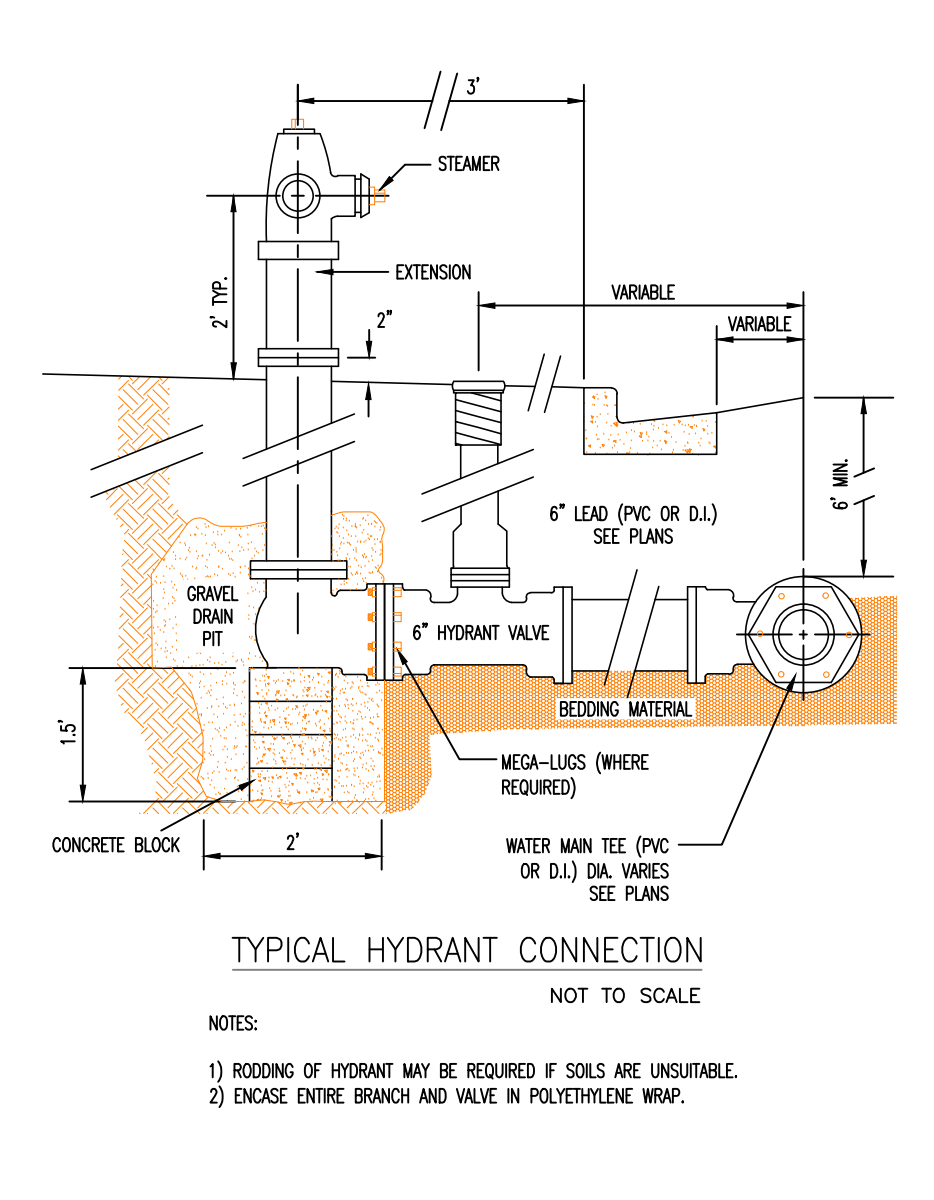
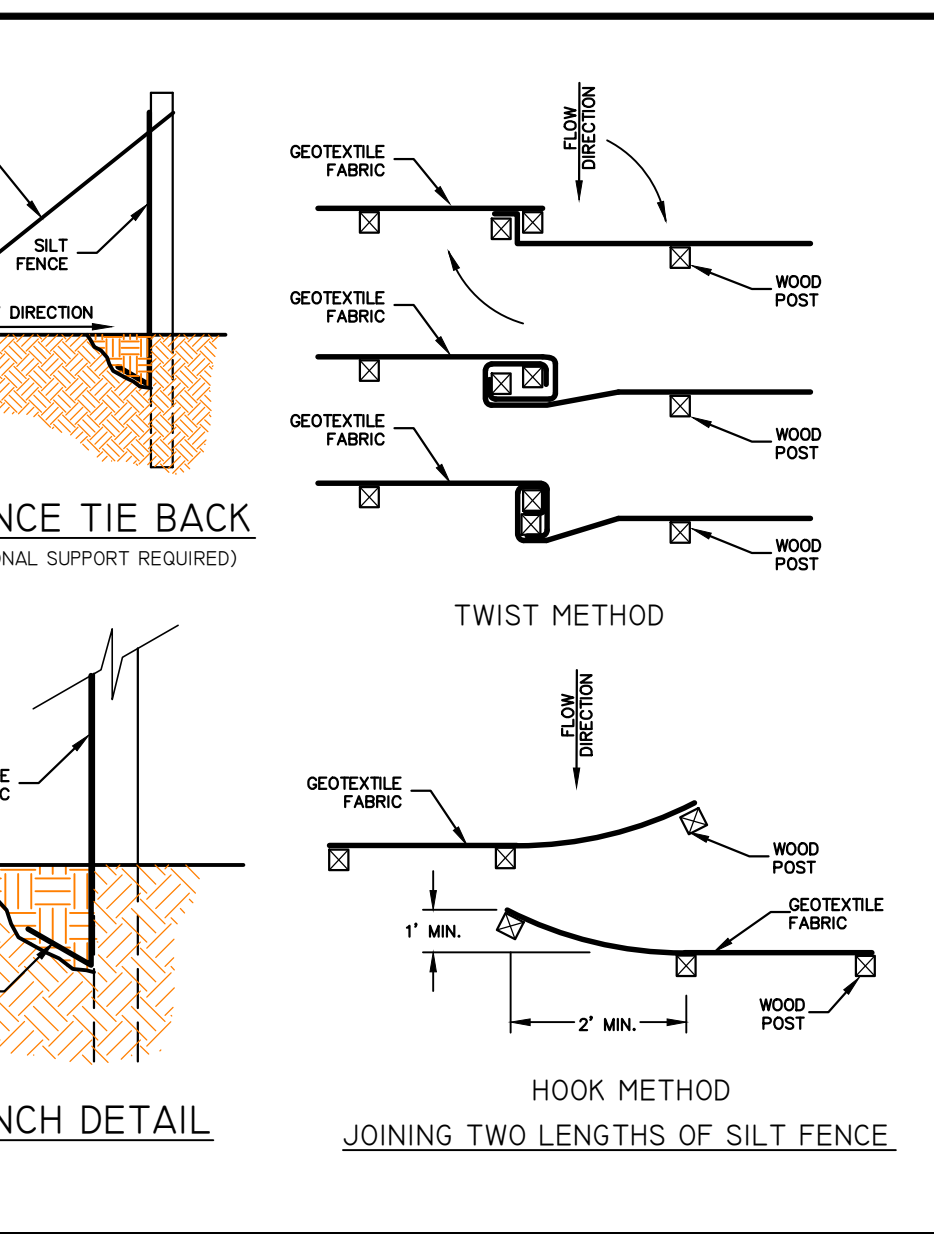
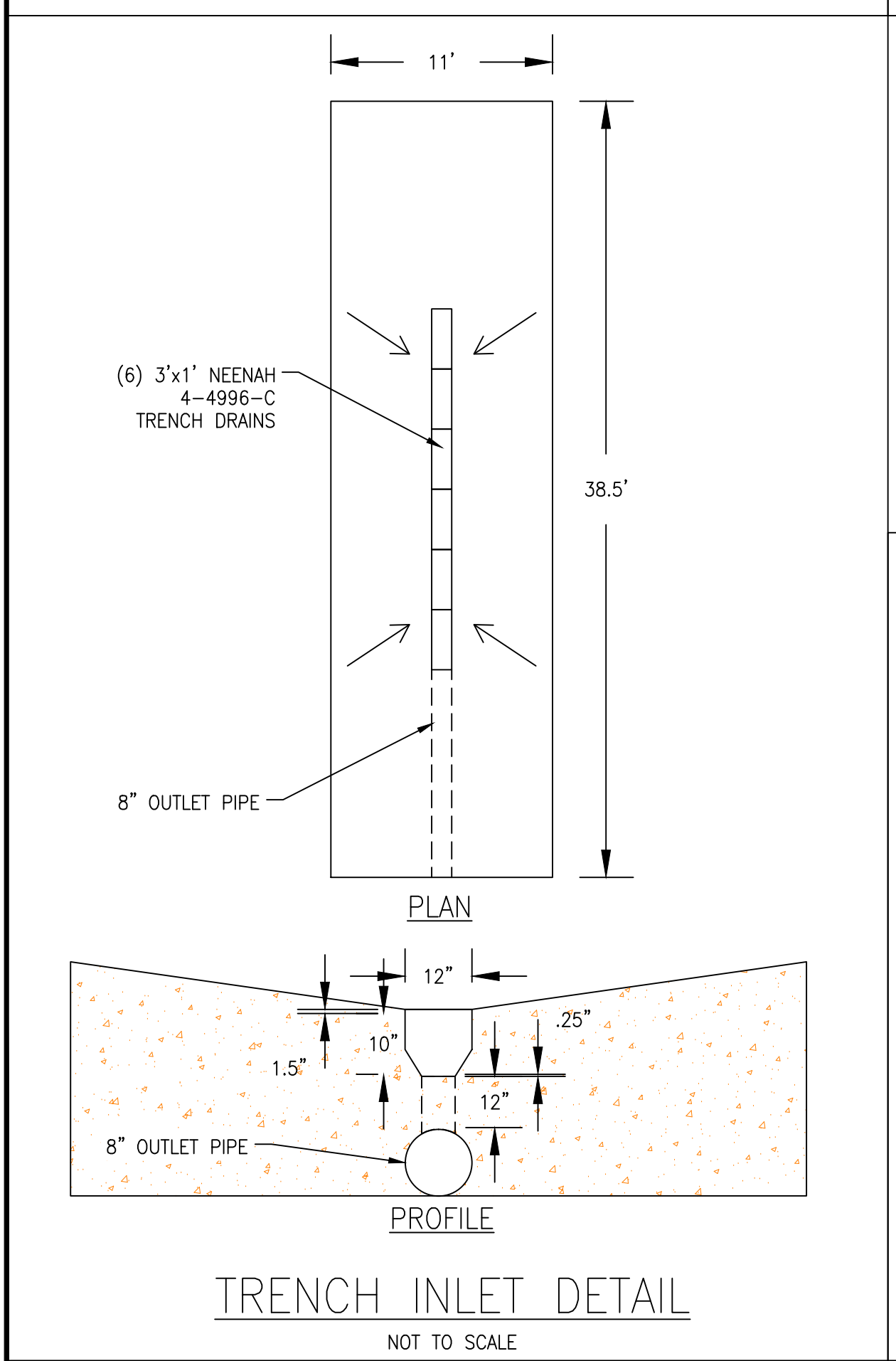
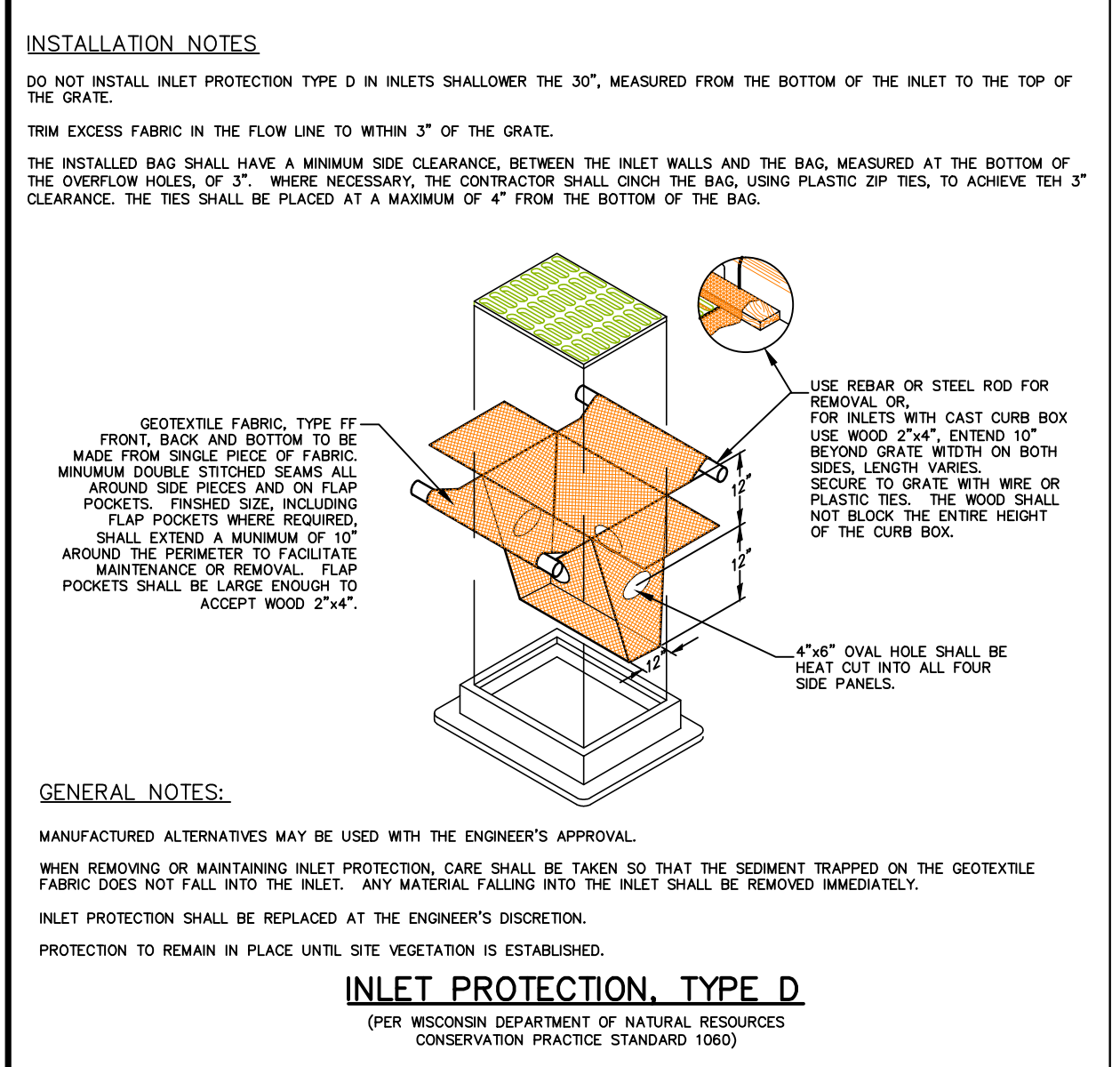
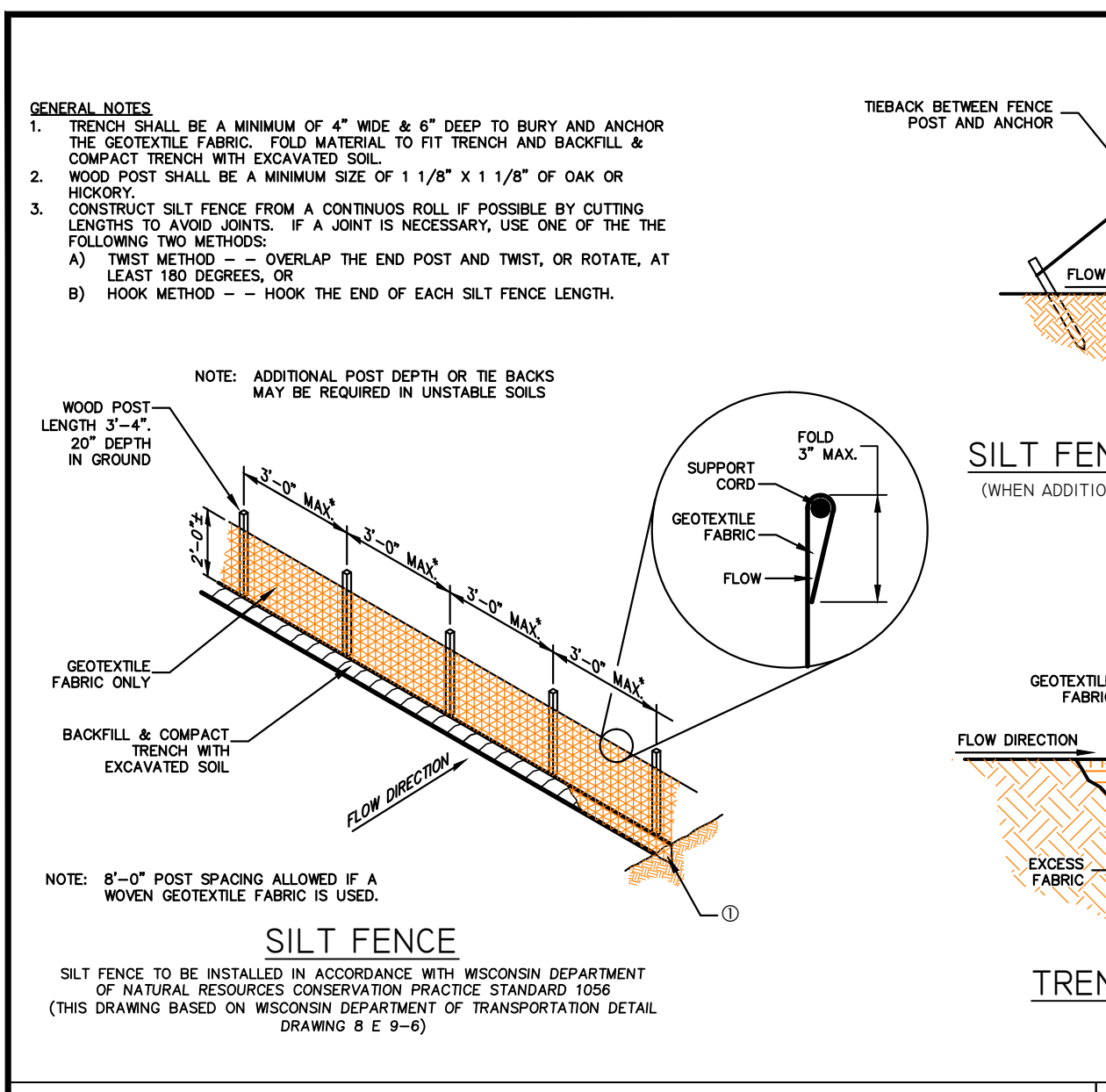
LEGEND

	1" IRON REBAR FOUND (UNLESS OTHERWISE STATED)		BACK OF CURB
	UNDERGROUND GAS LINE		LIGHT POLE
	UNDERGROUND ELECTRIC		TELE BOX
	UNDERGROUND TELEPHONE		SANITARY MANHOLE
	UNDERGROUND TV		DRAINAGE MANHOLE
	UNDERGROUND SANITARY SEWER		GAS VALVE
	UNDERGROUND STORM SEWER		WATER VALVE
	UNDERGROUND WATERMAIN		HYDRANT
	EXISTING 1' CONTOUR		
	EXISTING 5' CONTOUR		

SURVEYOR'S CERTIFICATE
 I HEREBY CERTIFY THAT I HAVE SURVEYED THE ABOVE DESCRIBED PROPERTY AND THAT THE ABOVE MAP IS A TRUE REPRESENTATION THEREOF AND SHOWS THE SIZE AND LOCATION OF THE PROPERTY, ITS EXTERIOR BOUNDARIES, THE LOCATION OF ALL VISIBLE STRUCTURES AND DIMENSIONS OF ALL PRINCIPAL BUILDINGS THEREON, BOUNDARY FENCES, APPARENT EASEMENTS, ROADWAYS, AND VISIBLE ENCROACHMENTS, IF ANY. THIS SURVEY IS MADE FOR THE USE OF THE PRESENT OWNERS OF THE PROPERTY, AND ALSO THOSE WHO PURCHASE, MORTGAGE, OR GUARANTEE THE TITLE THERETO WITHIN ONE (1) YEAR FROM DATE HEREOF.

C-1

DOCUMENT NO. 1790 (REVISED) SHEET 1 OF 1. DATE: 08/22/2014. BY: KEITH A. KINDRED. PROJECT: 1790. TITLE: PLAT OF SURVEY. SCALE: 1" = 30'. ALL DIMENSIONS ARE IN FEET AND DECIMALS THEREOF. THE SURVEYOR HAS REVIEWED THE RECORD DRAWINGS AND HAS FOUND THEM TO BE IN ACCORDANCE WITH THE SURVEY DATA. THE SURVEYOR HAS REVIEWED THE RECORD DRAWINGS AND HAS FOUND THEM TO BE IN ACCORDANCE WITH THE SURVEY DATA. THE SURVEYOR HAS REVIEWED THE RECORD DRAWINGS AND HAS FOUND THEM TO BE IN ACCORDANCE WITH THE SURVEY DATA.



CONSTRUCTION SCHEDULE:

- EXISTING PAVEMENT TO BE USED FOR TEMPORARY TRACKING DRIVE
- INSTALL ALL SILT FENCE.
- STRIP AND HAUL OFF TOPSOIL.
- GRADE BUILDING PAD AREA.
- START BUILDING CONSTRUCTION.
- COMPLETE UTILITY INSTALLATION, PARKING LOT BASE COURSE, ASPHALT PAVING, AND BUILDING CONSTRUCTION. NOTE THAT STABILIZATION OF THE DISTURBED AREAS MUST TAKE PLACE IF THEY ARE NOT BEING GRADED DURING THE UTILITY INSTALLATION.
- FINE GRADE AND STABILIZE GRASSED AREAS AS QUICKLY AS POSSIBLE. RESTORATION TO INCLUDE TOPSOIL, FERTILIZER, SEED AND MULCH. ALL SLOPES 4:1 OR STEEPER TO ALSO RECEIVE EROSION MATTING PER WISDOT PAL CLASS I, TYPE A
- INSTALL FINAL RESTORATION OF ALL DISTURBED AREAS.

GENERAL UTILITY NOTES:

THE CONTRACTOR SHALL CONTACT DIGGERS HOTLINE A MINIMUM OF 3 WORKING DAYS PRIOR TO THE START OF CONSTRUCTION.

Standard Specifications: Perform all work in accordance with the provisions of Standard Specifications for Sewer and Water Construction in Wisconsin, Fifth Edition, and State of Wisconsin Department of Transportation, Division of Highways, Standard Specifications for Road and Bridge Construction, Latest Edition, including all Supplemental Specifications and other revisions to date, unless otherwise specified in the VILLAGE OF PLEASANT PRAIRIE specifications. All contractors shall obtain a copy of the VILLAGE OF PLEASANT PRAIRIE Master Specifications prior to the start of construction.

Storm Sewer System:

- Storm sewer pipe shall be corrugated polyethylene pipe with smooth interior (HDPE) or RCSP; reinforced concrete sewer pipe. Polyethylene material shall conform to ASTM D3350. Only one type of pipe material will be permitted between any two structures. An approved gasket joint or cement mortar joint will be allowed for the reinforced concrete pipe. An approved gasket joint or external coupler will be allowed for the polyethylene pipe. If the cement mortar joint for external coupler option is chosen, the joint shall be wrapped with an approved engineering fabric. The fabric wrap shall be a minimum of 18 inches in width and overlap 12 inches. The lap is to be secured with tape or other acceptable means. The engineering fabric used for silt fences is acceptable for this use. This coat is to be included in the bid price per linear foot of sewer.
- All storm manholes may be either precast or of block construction. Storm manholes of masonry construction are to be built according to VILLAGE OF PLEASANT PRAIRIE Standards. The concrete brick and masonry units in storm manholes only shall conform to the following specifications:
 - Minimum compressive strength of 5500 PSI at 28 days.
 - Maximum water absorption shall not exceed 5 pounds per cubic foot.
 - Must be marked by being stamped, a pigment color added, or other approved markings. Storm manholes shall have a plaster coat of CONPROCO structural skin or approved equivalent applied to their interior and exterior surfaces. It shall be applied to a minimum 1/8" thickness according to manufacturer's recommendations. The surfaces of the inlets must be primed with the CONPROCO K-88 primer or approved equivalent prior to plastering them to CONPROCO structural skin.

Water Main:

- All construction shall be in accordance with the VILLAGE OF PLEASANT PRARIE Water Utility Specifications for the Installation of Water Main & Appurtenances, the regulations of the Wisconsin DNR, requirements of the Wisconsin DOT permit, and these Special Conditions.
- The location of structures and obstacles shall not be taken as conclusive. Verification to the satisfaction of the Contractor shall be assumed as a condition of his bid; and therefore, the Contractor shall be solely responsible for all damages resulting from his activities.
- All proposed grades shown of the grading plans are finished grades.
- The contractor shall dispose of all surplus excavated material.
- The contractor shall be responsible for adequately barricading areas of construction to protect against personal injury as well as warn traffic of the construction site. Warning signs shall be in accordance with the Manual of Uniform Traffic Control Devices.
- Contractor shall provide 72 hours (3 workdays) notice to the City of Elkhorn of the anticipated need for inspection services. No work shall be undertaken without an inspector being on site or without the permission of the Owner.
- The Contractor shall install erosion control measures prior to construction. Erosion control devices shall be removed from the site after the site has been re-vegetated and erosion control is no longer necessary.
- The Contractor shall be solely responsible for providing trench support in accordance with all applicable State and Federal regulations. The Engineer, Owner, and Inspector shall be held harmless in all matters regarding shoring and bracing.
- The Contractor shall be responsible for keeping the road adjacent to the construction site clean at all times. The Contractor shall be responsible for dust control.
- Where connecting to existing utility services, the Contractor shall excavate the connection point so that elevations of the exist. services can be verified and any necessary adjustments to the design can be made.

GENERAL UTILITY NOTES:

THE CONTRACTOR SHALL CONTACT DIGGERS HOTLINE A MINIMUM OF 3 WORKING DAYS PRIOR TO THE START OF CONSTRUCTION.

Standard Specifications: Perform all work in accordance with the provisions of Standard Specifications for Sewer and Water Construction in Wisconsin, Fifth Edition, and State of Wisconsin Department of Transportation, Division of Highways, Standard Specifications for Road and Bridge Construction, Latest Edition, including all Supplemental Specifications and other revisions to date, unless otherwise specified in the VILLAGE OF PLEASANT PRAIRIE specifications. All contractors shall obtain a copy of the VILLAGE OF PLEASANT PRAIRIE Master Specifications prior to the start of construction.

Storm Sewer System:

- Storm sewer pipe shall be corrugated polyethylene pipe with smooth interior (HDPE) or RCSP; reinforced concrete sewer pipe. Polyethylene material shall conform to ASTM D3350. Only one type of pipe material will be permitted between any two structures. An approved gasket joint or cement mortar joint will be allowed for the reinforced concrete pipe. An approved gasket joint or external coupler will be allowed for the polyethylene pipe. If the cement mortar joint for external coupler option is chosen, the joint shall be wrapped with an approved engineering fabric. The fabric wrap shall be a minimum of 18 inches in width and overlap 12 inches. The lap is to be secured with tape or other acceptable means. The engineering fabric used for silt fences is acceptable for this use. This coat is to be included in the bid price per linear foot of sewer.
- All storm manholes may be either precast or of block construction. Storm manholes of masonry construction are to be built according to VILLAGE OF PLEASANT PRAIRIE Standards. The concrete brick and masonry units in storm manholes only shall conform to the following specifications:
 - Minimum compressive strength of 5500 PSI at 28 days.
 - Maximum water absorption shall not exceed 5 pounds per cubic foot.
 - Must be marked by being stamped, a pigment color added, or other approved markings. Storm manholes shall have a plaster coat of CONPROCO structural skin or approved equivalent applied to their interior and exterior surfaces. It shall be applied to a minimum 1/8" thickness according to manufacturer's recommendations. The surfaces of the inlets must be primed with the CONPROCO K-88 primer or approved equivalent prior to plastering them to CONPROCO structural skin.

Water Main:

- All construction shall be in accordance with the VILLAGE OF PLEASANT PRARIE Water Utility Specifications for the Installation of Water Main & Appurtenances, the regulations of the Wisconsin DNR, requirements of the Wisconsin DOT permit, and these Special Conditions.
- The location of structures and obstacles shall not be taken as conclusive. Verification to the satisfaction of the Contractor shall be assumed as a condition of his bid; and therefore, the Contractor shall be solely responsible for all damages resulting from his activities.
- All proposed grades shown of the grading plans are finished grades.
- The contractor shall dispose of all surplus excavated material.
- The contractor shall be responsible for adequately barricading areas of construction to protect against personal injury as well as warn traffic of the construction site. Warning signs shall be in accordance with the Manual of Uniform Traffic Control Devices.
- Contractor shall provide 72 hours (3 workdays) notice to the City of Elkhorn of the anticipated need for inspection services. No work shall be undertaken without an inspector being on site or without the permission of the Owner.
- The Contractor shall install erosion control measures prior to construction. Erosion control devices shall be removed from the site after the site has been re-vegetated and erosion control is no longer necessary.
- The Contractor shall be solely responsible for providing trench support in accordance with all applicable State and Federal regulations. The Engineer, Owner, and Inspector shall be held harmless in all matters regarding shoring and bracing.
- The Contractor shall be responsible for keeping the road adjacent to the construction site clean at all times. The Contractor shall be responsible for dust control.
- Where connecting to existing utility services, the Contractor shall excavate the connection point so that elevations of the exist. services can be verified and any necessary adjustments to the design can be made.

GENERAL GRADING NOTES:

- CUT AND FILL SLOPES WILL BE 3:1 MAXIMUM, UNLESS OTHERWISE NOTED.
- TEMPORARY SEEDING TO CONFORM WITH SECTION 630.2.1.5.1.2 OF THE STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND BRIDGE CONSTRUCTION. (ANNUAL OATS-BEFORE AUGUST 31ST, WINTER RYE AFTER AUGUST 31ST.)
- STABILIZE ALL DISTURBED AREAS W/POLYACRYLAMIDE COATING FOR WINTER STABILIZATION AFTER OCTOBER 15TH. (PER DOT'S PAL). DEADLINES FOR SEEDING ARE:
SEPTEMBER 15-COOL GRASS SEEDING.
OCTOBER 15-TEMPORARY SEEDING.
NOVEMBER 15-DORMANT SEEDING.
- TOPSOIL SHALL NOT BE USED AS FILL MATERIAL IN THE NON-STRUCTURAL AREAS UNTIL ALL SOURCES OF STRUCTURAL CUT AND TRENCH SPOILS HAVE BEEN EXHAUSTED,

GENERAL NOTES:

- ALL GRADES ARE TO EDGE OF PAVEMENT/FLANGE UNLESS OTHERWISE NOTED.
- BUILDING DIMENSIONS AND ADJACENT PARKING AND UTILITY LAYOUT HAVE BEEN PREPARED BASED UPON ARCHITECTURAL INFORMATION CURRENT AT THE DATE OF THIS DRAWING. SUBSEQUENT ARCHITECTURAL CHANGES MAY EXIST. THEREFORE, CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR PRECISE BUILDING DIMENSIONS AND EXACT UTILITY ENTRANCE LOCATIONS AND NOTIFY THE ARCHITECT AND ENGINEER OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
- CONTACT DIGGER'S HOTLINE 1-800-242-8511 PRIOR TO DIGGING TO LOCATE ALL UTILITIES ON THE SITE.
- ROUTING OF GAS, ELECTRIC AND TELEPHONE SERVICE IF SHOWN ARE APPROXIMATE ONLY AND SUBJECT TO CHANGE BASED UPON FINAL REVIEW AND APPROVAL BY RESPECTIVE UTILITY COMPANIES AND OWNER. CONTRACTOR SHALL CONTACT EACH UTILITY COMPANY AND COORDINATE FINAL LOCATIONS FOR ALL UTILITY SERVICES PRIOR TO START OF CONSTRUCTION.
- IMPROVEMENTS ADJACENT TO BUILDING IF SHOWN SUCH AS TRUCK DOCK, RETAINING WALLS, SIDEWALKS, CURBING, DOOR LOCATIONS, CANOPIES, RAMPS, HANDICAP ACCESS, PLANTERS, DUMPSTERS AND TRANSFORMERS HAVE BEEN SHOWN FOR LOCATION ONLY. SEE ELECTRICAL PLANS FOR EXACT LOCATIONS, SPECIFICATIONS AND DETAILS.
- LIGHTING AND UNDERGROUND CABLE IF SHOWN ON PLANS ARE FOR LOCATION ONLY. SEE ARCHITECTURAL PLANS FOR SPECIFICATIONS AND DETAILS.
- CONTRACTOR TO VERIFY LOCATION AND ELEVATION OF ALL BUILDING SERVICE LOCATIONS WITH ARCHITECTURAL PLANS.
- MINIMUM AND MAXIMUM SLOPES FOR PAVEMENT TO BE 1.00% AND 6.00% RESPECTIVELY.

EROSION CONTROL:

- CONSTRUCT AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES IN ACCORDANCE WITH THE "WISCONSIN STORMWATER CONSTRUCTION AND POST-CONSTRUCTION TECHNICAL STANDARDS".
- SEDIMENT CONTROL MEASURES MAY NEED TO BE ADJUSTED TO MEET FIELD CONDITIONS AT THE TIME OF CONSTRUCTION.
- PROVIDE PERIODIC INSPECTION AND MAINTENANCE OF ALL EROSION CONTROL STRUCTURES TO ENSURE INTENDED PURPOSE IS ACCOMPLISHED. SEDIMENT CONTROL MEASURES ARE TO BE IN WORKING CONDITION AT THE END OF EACH DAY.
- ALL EROSION CONTROL PRACTICES MUST BE CHECKED FOR STABILITY AND OPERATION WEEKLY AND WITHIN 24 HOURS OF EVERY RAINFALL (1/2" OR MORE), AND AT LEAST ONCE PER WEEK. CORRECT ANY DAMAGED STRUCTURES IMMEDIATELY. SEDIMENT SHALL BE DISPOSED OF ONCE THE DEPOSITS REACH 1/2 THE HEIGHT OF THE SEDIMENT CONTROL DEVICE.
- DO NOT REMOVE ANY SEDIMENT CONTROL MEASURES UNTIL THE AREAS SERVED HAVE 70% OR MORE ESTABLISHED CONTINUOUS VEGETATIVE COVER.
- ALL TRACKED SOIL ON ADJACENT STREETS FROM THIS PROJECT MUST BE CLEANED ON A DAILY BASIS, MINIMUM. CONTRACTORS ARE REQUIRED TO USE THE TRACKING DRIVE ONLY FOR ACCESS TO THE SITE. (EXISTING PAVEMENT TO BE USED AS STAGING & TRACKING DRIVE).
- DISCHARGE ALL TRENCH WATER, IF ENCOUNTERED, INTO A TEMPORARY SETTLING BASIN OR APPROVED SEDIMENT FILTER BAG PRIOR TO RELEASE INTO STORM SEWER OR SWALE.
- PROTECT STORM SEWER COLLECTION MANHOLES FROM RUN-OFF BY PLACING A BASKET FILTER PER THE STANDARD DETAIL UNLESS OTHERWISE NOTED.
- PREVENT OVERLAND FLOW FROM LEAVING ANY PORTION OF THE WORK SITE BY INSTALLING SILT FENCE PARALLEL TO THE SLOPE DOWNHILL FROM THE WORK AREA OR AS SHOWN ON THE PLAN SET. PROTECT SILT FENCE OR STRAW BALES WITH A SMALL EARTHEN BERM WHERE FEASIBLE.
- SEDIMENT CONTROL FOR UTILITY CONSTRUCTION:
 - PLACE EXCAVATED TRENCH MATERIAL ON HIGH SIDE OF THE TRENCH.
 - BACKFILL, COMPACT, AND STABILIZE THE TRENCH IMMEDIATELY AFTER PIPE INSTALLATION.
- ALL TEMPORARY TOPSOIL STOCKPILES SHALL NOT BE LOCATED WITHIN 25 FEET OF A DRAINAGE WAY AND SHALL BE PROTECTED WITH SILT FENCING AROUND DOWNSLOPE AND SIDESLOPE OF THE PILE AND STABILIZED WITHIN 7 DAYS WITH TEMPORARY SEEDING. PLACE SILT FENCE A MINIMUM OF 10' AWAY FROM THE BOTTOM OF THE TOPSOIL PILE TO PREVENT THE SILT FENCE FROM GETTING KNOCKED OVER FROM MATERIAL THAT MAY GET SLOUGHED OFF.
- SPILL PREVENTION AND RESPONSE PROCEDURES TO BE SUBMITTED BY THE CONTRACTOR TO THE PROJECT MANAGER PRIOR TO START OF CONSTRUCTION.
- BUILDING AND WASTE MATERIAL MUST BE PROPERLY HANDLED TO PREVENT RUNOFF OF MATERIALS INTO WATERS OF THE STATE.

GENERAL GRADING NOTES:

- CUT AND FILL SLOPES WILL BE 3:1 MAXIMUM, UNLESS OTHERWISE NOTED.
- TEMPORARY SEEDING TO CONFORM WITH SECTION 630.2.1.5.1.2 OF THE STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND BRIDGE CONSTRUCTION. (ANNUAL OATS-BEFORE AUGUST 31ST, WINTER RYE AFTER AUGUST 31ST.)
- STABILIZE ALL DISTURBED AREAS W/POLYACRYLAMIDE COATING FOR WINTER STABILIZATION AFTER OCTOBER 15TH. (PER DOT'S PAL). DEADLINES FOR SEEDING ARE:
SEPTEMBER 15-COOL GRASS SEEDING.
OCTOBER 15-TEMPORARY SEEDING.
NOVEMBER 15-DORMANT SEEDING.
- TOPSOIL SHALL NOT BE USED AS FILL MATERIAL IN THE NON-STRUCTURAL AREAS UNTIL ALL SOURCES OF STRUCTURAL CUT AND TRENCH SPOILS HAVE BEEN EXHAUSTED,

GENERAL NOTES:

- TYPICAL RESTORATION SHALL BE 6" TOPSOIL (REASONABLY FREE OF STONES, STICKS, ROOTS, AND OTHER OBJECTABLE MATTER AND DEBRIS). ONCE TOPSOIL HAS BEEN SPREAD, THE AREA SHALL BE SEEDDED WITH SEED MIXTURE NO. 10, IN ACCORDANCE WITH SECTION 630 OF THE "STATE SPECIFICATIONS". THE CONTRACTOR SHALL APPLY A FERTILIZER (20-0-0) OVER THE SEEDDED AREA AT A RATE OF 10 LBS PER 1000 SQUARE FEET. THIS AREA SHALL BE MAINTAINED BY THE CONTRACTOR. STRAW MULCH SHALL BE PLACED WITH METHOD "B" OR "C" AS DESCRIBED IN SECTION 627 OF THE "STATE SPECIFICATIONS", EXCEPT THAT MULCH SHALL BE PLACED WITHIN ONE (1) DAY AFTER THE SEEDING HAS BEEN COMPLETED. MULCH SHALL BE ANCHORED OR CRIMPED IMMEDIATELY AFTER APPLICATION. EROSION MATTING SHALL BE PLACED AS SPECIFIED ON THE GRADING AND EROSION CONTROL PLANS ON ALL SLOPES GREATER THAN 6:1.
- IN THE EVENT GROUNDWATER IS EXPERIENCED DURING CONSTRUCTION. CONTRACTOR TO PROVIDE A DEWATERING TRAP PER THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES TECHNICAL STANDARD.

COOLING EQUIPMENT SERVICES
14 GARLICK DRIVE
MILWAUKEE, WI 53214
PH: 414-224-1100

REFRIGERATION:
SEH-YAGSY ASSOCIATES
3555 WADSWORTH CENTER DRIVE
MILWAUKEE, WI 53222
PH: 414-224-1100

CONSULTING ENGINEERS
CIVIL: SEH-YAGSY ASSOCIATES
STRUCTURAL: MCKEHEE/CEM/MB

ARCHITECT
GMA
3110 WOODCREEK DRIVE
MILWAUKEE, WI 53222
PH: 414-224-1100

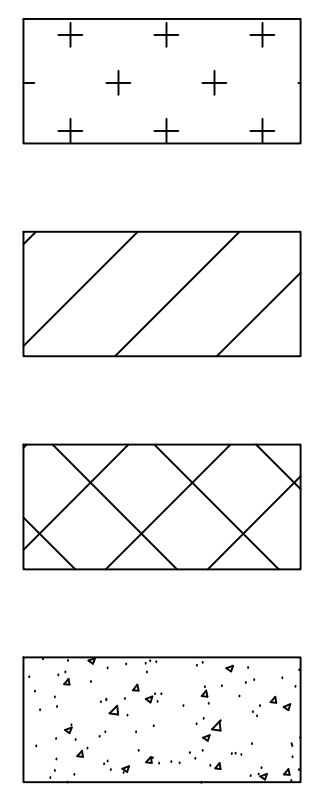
CONTRACTOR
ARCO MURRAY
3110 WOODCREEK DRIVE
MILWAUKEE, WI 53222
PH: 414-224-1100

PROJECT
GOODFOODS GROUP
10100 88TH AVENUE
PLEASANT PRAIRIE, WI 53158

JOB NO: SJ1386
PA: DZ
DATE: 07.18.2014

REVISIONS

SHEET NUMBER
C-2

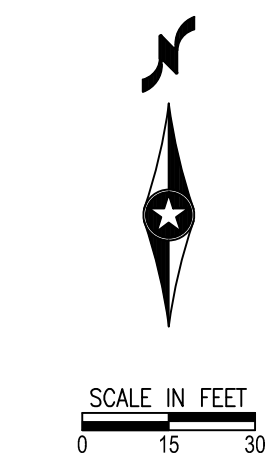
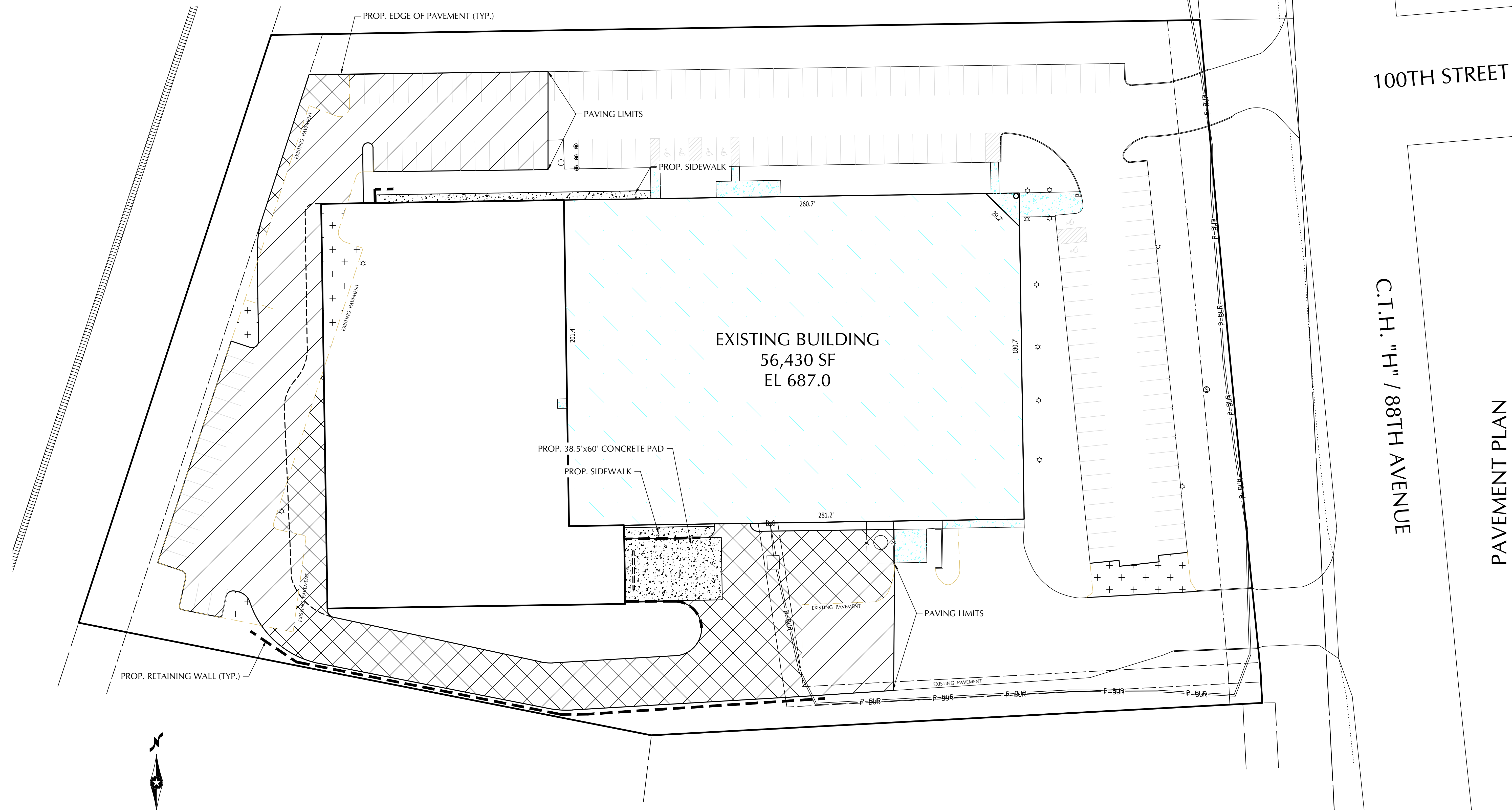


EXISTING PAVEMENT TO BE REMOVED

EXISTING PAVEMENT TO BE REPAVED

PROPOSED NEW PAVEMENT

PROPOSED CONCRETE



100TH STREET

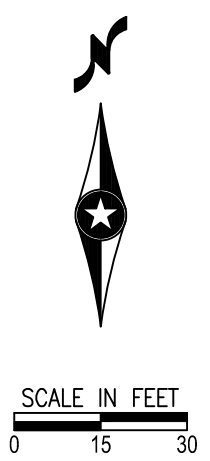
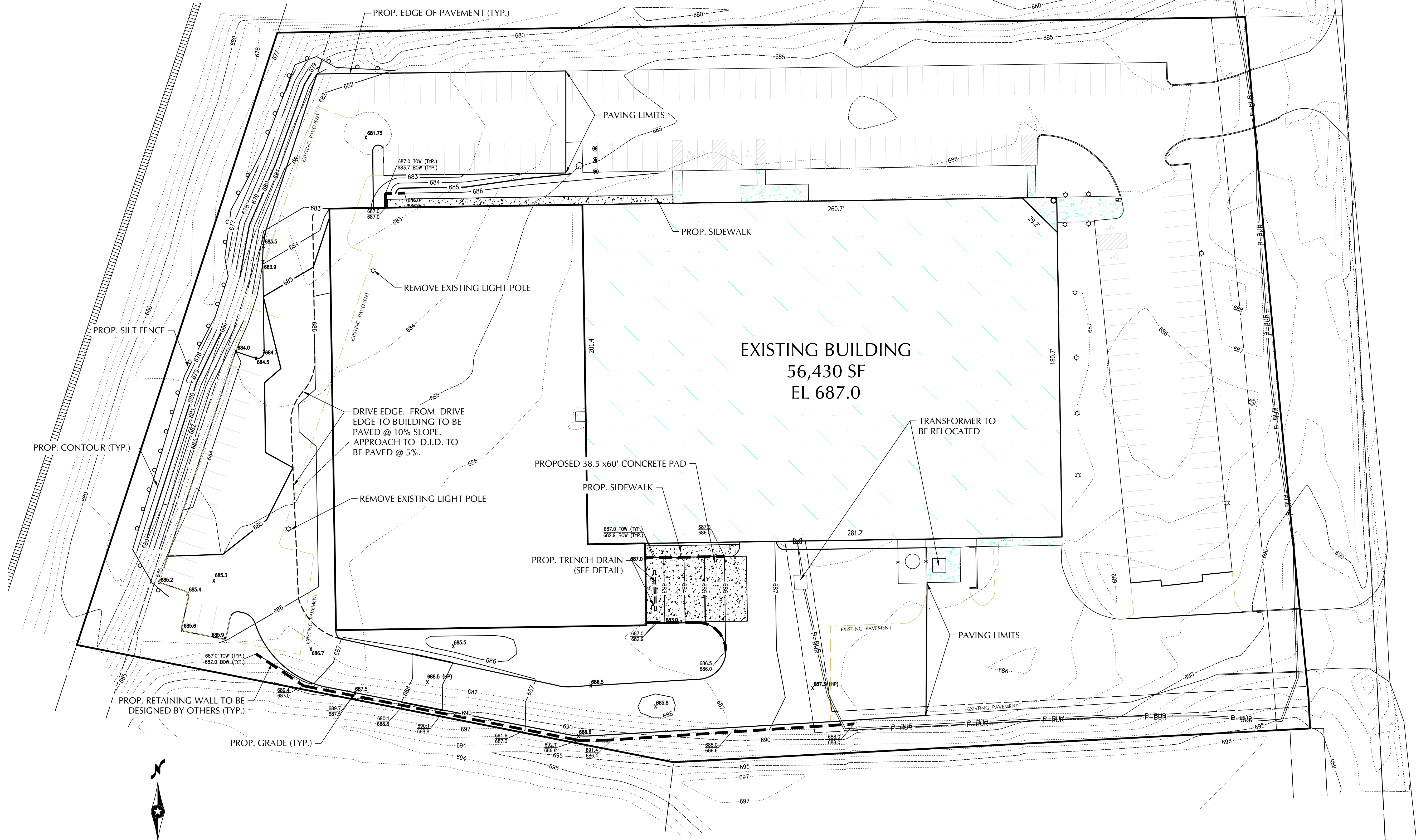
C.T.H. "H" / 88TH AVENUE

PAVEMENT PLAN

<p>ARCHITECT</p> <p>GMA</p> <p>3110 WOODCREEK DRIVE ST. LOUIS, MISSOURI 63114 (P) 314-822-9191 (F) 314-863-0714 WWW.GMA-ARCHITECTS.COM</p>	<p>CONTRACTOR</p> <p>ARCO MURRAY</p> <p>3110 WOODCREEK DRIVE ST. LOUIS, MISSOURI 63114 (P) 314-251-2726 WWW.ARCOMURRAY.COM</p>	<p>CONSULTING ENGINEERS</p> <p>CIVIL:</p> <p>SEH-YAGSY ASSOCIATES 3209 ADVANCE CENTER DRIVE MCCURTZ/SEH/ICOM MONTELY ENGINEERING ST. LOUIS, MO 63141</p> <p>STRUCTURAL:</p> <p>MECHEL/ICOM/MB 2675 PRAIRIE AVENUE HOFFMAN ESTATES, IL 60192 STEPHEN TRIPPIANI</p>	<p>REFRIGERATION:</p> <p>COOLING EQUIPMENT SERVICES 141 GARLICK DRIVE L 60007 MH@COOLINGEQUIP.COM</p>
	<p>PROJECT</p> <p>GOODFOODS GROUP</p> <p>10100 88TH AVENUE PLEASANT PRAIRIE, WI 53158</p>		
<p>REVISIONS </p>			
<p>SHEET NUMBER</p> <p>C-3</p>			

EXISTING PAVEMENT

LEGEND	
--- 782 ---	EXISTING 1' CONTOUR
--- 780 ---	EXISTING 5' CONTOUR
— 782 —	PROPOSED 1' CONTOUR
— 780 —	PROPOSED 5' CONTOUR
○ ○ ○ ○ ○	PROPOSED SILT FENCE
X 849.30	PROPOSED GRADE



100TH STREET

C.T.H. "H" / 88TH AVENUE

GRADING/EROSION CONTROL PLAN

REFRIGERATION:
 COOLING EQUIPMENT SERVICES
 141 GARLICK DRIVE
 L. 6007
 MR@COOLINGEQUIP.COM

CONSULTING ENGINEERS
 CIVIL:
 SEH-YAGSY ASSOCIATES
 3505 ADVANCE CENTER DRIVE
 ACCOURT/SEH@YAGSY.COM
 STRUCTURAL:
 MCNEELY ENGINEERING
 10000 WOODCREEK DRIVE
 ST. LOUIS, MO 63141
 MECH/ELECT/PLUMB:
 MCNEELY ENGINEERING
 10000 WOODCREEK DRIVE
 ST. LOUIS, MO 63141
 HOFFMAN ESTABES, L.L. 80192
 STEPHEN TRIPPIANI

ARCHITECT
GMA
 ARCHITECTS
 3110 WOODCREEK DRIVE
 ST. LOUIS, MISSOURI 63141
 (P) 314-822-9191 (F) 314-863-0714
 WWW.GMA-ARCHITECTS.COM

PROJECT
GOODFOODS
 GROUP
 10100 88TH AVENUE
 PLEASANT PRAIRIE, WI 53158

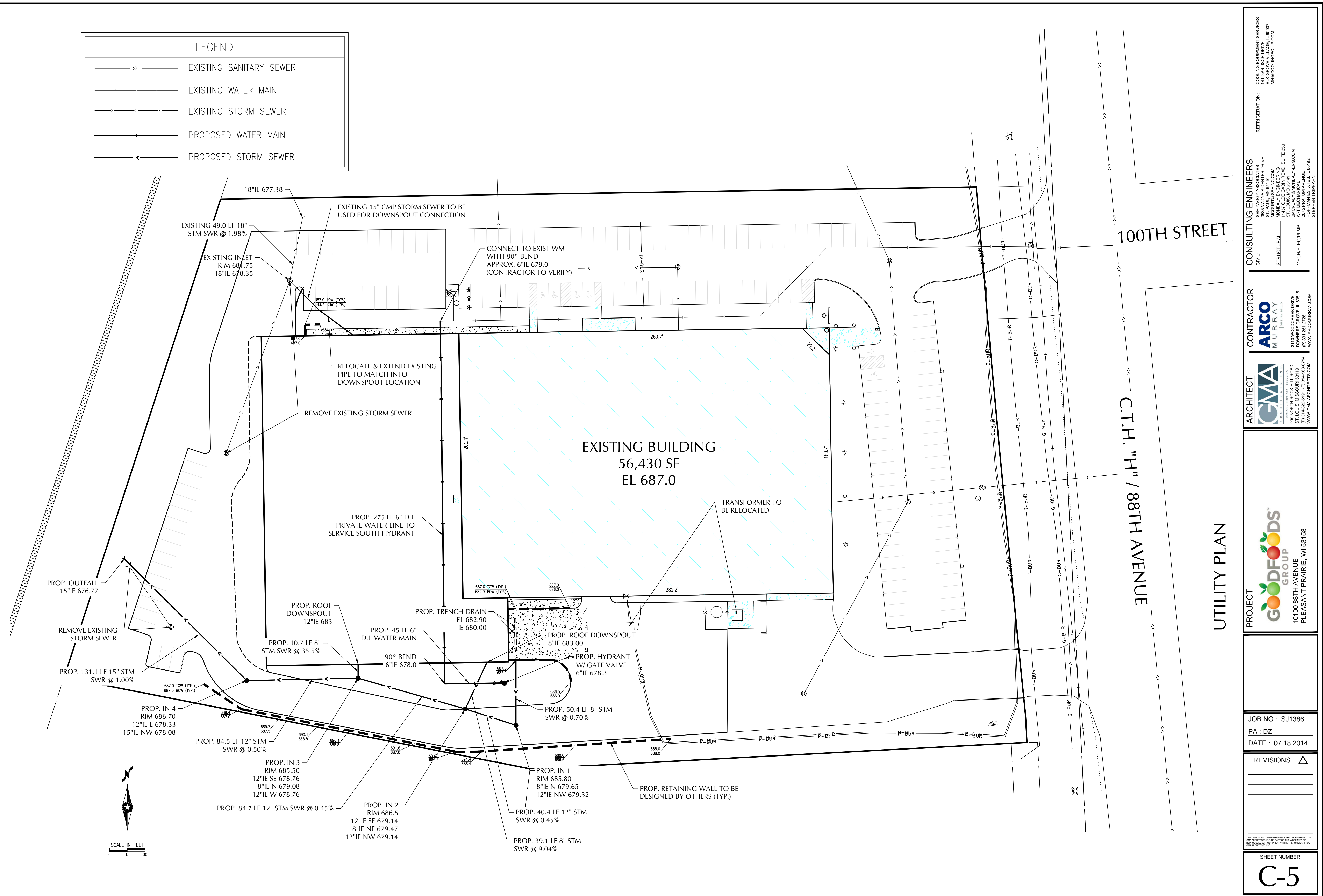
JOB NO : SJ1386
 PA : DZ
 DATE : 07.18.2014

REVISIONS	△

SHEET NUMBER
C-4

EXISTING PAVEMENT

LEGEND	
	EXISTING SANITARY SEWER
	EXISTING WATER MAIN
	EXISTING STORM SEWER
	PROPOSED WATER MAIN
	PROPOSED STORM SEWER



ARCHITECT
GMA
3110 WOODCREEK DRIVE
ST. LOUIS, MISSOURI 63116
(P) 314-822-9191 (F) 314-863-0714
WWW.GMA-ARCHITECTS.COM

CONSULTING ENGINEERS
ARCO MURRAY
3255 ADVANCE CENTER DRIVE
MACOURT/SEHRIC.COM
MONEY ENGINEERING
ST. LOUIS, MO 63141
BICKNEY/EMCONEALY/ENG.COM
2675 PRAIRIE AVENUE
HOFFMAN ESTATES, IL 60192
STEPHEN TRIPPIANI

REFRIGERATION:
COOLING EQUIPMENT SERVICES
141 GARLICK DRIVE
L. 63007
MH@COOLINGEQUIP.COM

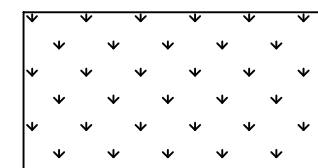
CONTRACTOR
ARCO MURRAY
3110 WOODCREEK DRIVE
ST. LOUIS, MISSOURI 63116
(P) 314-251-2726
WWW.ARCOMURRAY.COM

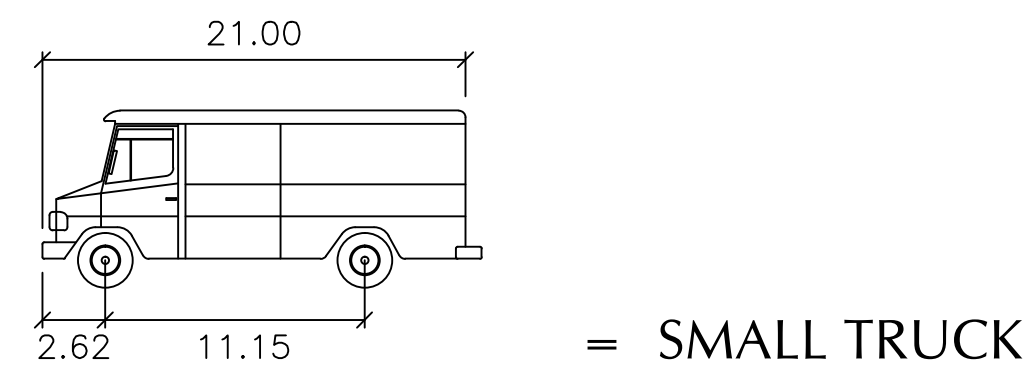
PROJECT
GOODFOODS GROUP
10100 88TH AVENUE
PLEASANT PRAIRIE, WI 53158

JOB NO : SJ1386
PA : DZ
DATE : 07.18.2014

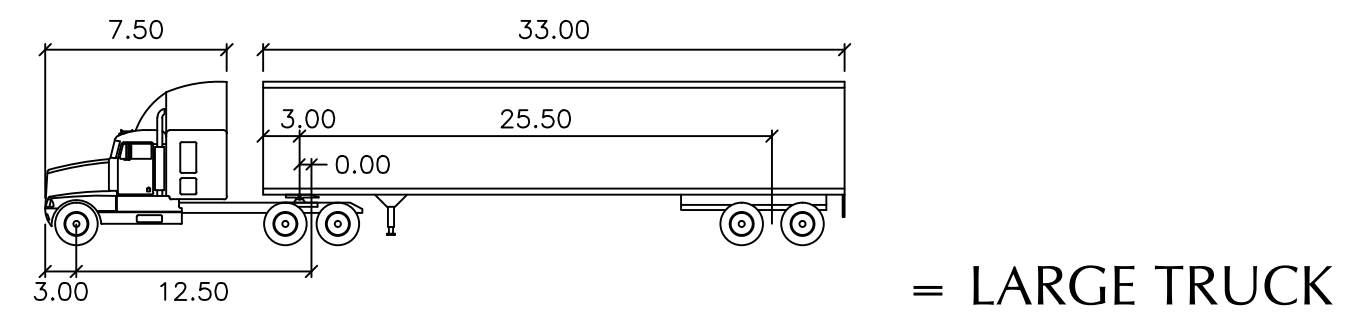
REVISIONS	△

SHEET NUMBER
C-5

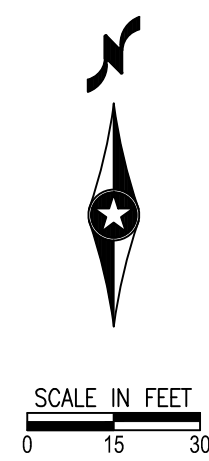
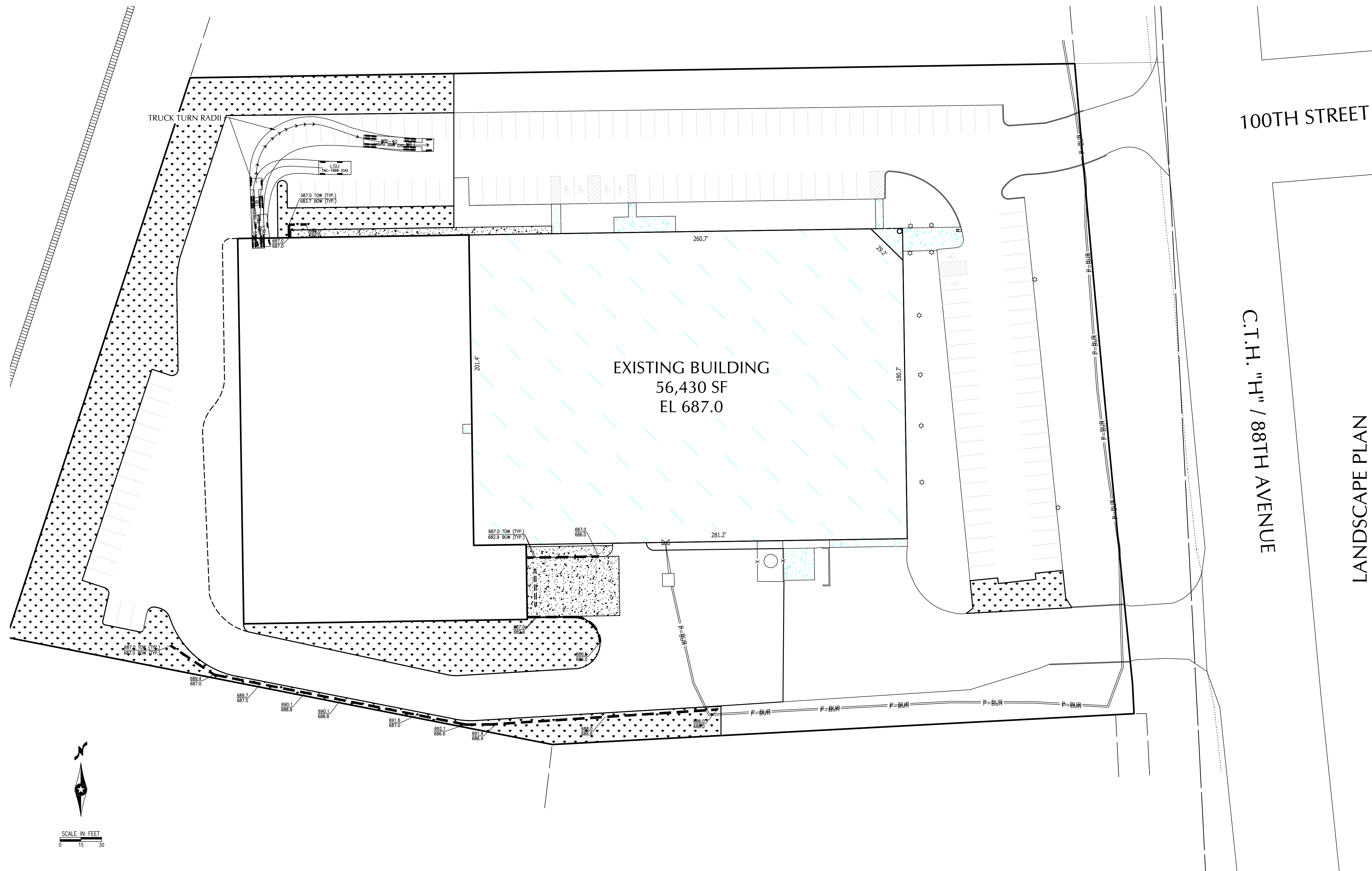
 = GRASS AREA



LSU
 Width : 8.53
 Track : 8.53
 Lock to Lock Time : 6.0
 Steering Angle : 40.8



WB-40
 Tractor Width : 8.00 Lock to Lock Time : 6.0
 Trailer Width : 8.00 Steering Angle : 20.3
 Tractor Track : 8.00 Articulating Angle : 70.0
 Trailer Track : 8.00



COOLING EQUIPMENT SERVICES
 141 GARLICK DRIVE L 60007
 MH@COOLINGEQUIP.COM

REFRIGERATION:


CONSULTING ENGINEERS
 CIVIL: SEH-YAGSY ASSOCIATES
 3505 ADAMS CENTER DRIVE
 ACCOURT@SEHINC.COM
 STRUCTURAL: MCNEELY ENGINEERING
 1000 WOODCREEK DRIVE SUITE 500
 ST. LOUIS, MO 63141
 BUCKEY@MCNEELY-ENG.COM
 HOFFMAN@MCNEELY-ENG.COM
 MECH/ELECTRICAL: 2675 PRAIRIE AVENUE
 HOFFMAN ESTATES, L 60192
 STEPHEN TRIPPIANI

CONTRACTOR
ARCO MURRAY
 3110 WOODCREEK DRIVE
 ST. LOUIS, MISSOURI 63141
 (P) 314-251-2726
 WWW.ARCOMURRAY.COM

ARCHITECT
GMA
 1000 WOODCREEK DRIVE
 ST. LOUIS, MISSOURI 63141
 (P) 314-822-9191 (F) 314-863-0714
 WWW.GMA-ARCHITECTS.COM

PROJECT
GODFOODS GROUP
 10100 88TH AVENUE
 PLEASANT PRAIRIE, WI 53158

JOB NO : SJ1386
 PA : DZ
 DATE : 07.18.2014

REVISIONS 

SHEET NUMBER
C-6